

Town Of Double Oak  
Planning And Zoning Commission Agenda  
Double Oak Town Hall  
November 10, 2021  
7:00 PM

- 1) Call to order  
Roll call  
Establish a quorum  
Opening announcements and comments
- 2) Citizens Comments
- 3) Consideration and action on the minutes of September 30, 2021
- 4) Swearing in of Planning and Zoning Commission Members
- 5) Consideration and action on selection of a Chairperson for the Planning and Zoning Commission
- 6) Consideration and action on selection of a Vice Chairperson for the Planning and Zoning Commission
- 7) Consideration and action on a recommendation to the Town Council for approval of a site plan for Braum's located at Block A Lot 5 of the Crossroads Bible Church Addition.
- 8) Adjourn

As authorized by section 551.071 of the Texas Government Code, this meeting may be convened into closed executive session for the purpose of seeking confidential legal advice from the town attorney on any agenda item listed herein.

Posted this 5th day of November 2021 at 9:00 a.m.

  
\_\_\_\_\_  
Lynn Jones, Assistant Town Secretary

**PUBLIC PARTICIPATION**

If you wish to address the Planning and Zoning Commission please sign the sign in sheet before the meeting begins. Pursuant to Section 551.007 of the Texas Government Code, citizens wishing to address the Planning and Zoning Commission for items listed as public hearings will be recognized when the public hearing is opened. For citizens wishing to speak on a non-public hearing item, they may either address the Planning and Zoning Commission during the Citizen Comments portion of the meeting or when the item is considered by the Planning and Zoning Commission.

This facility is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior meeting. Please contact the town secretary's office at 972.539.9464 or fax 972.539.9613 for additional information.

STATE OF TEXAS  
COUNTY OF DENTON  
TOWN OF DOUBLE OAK

The Double Oak Planning and Zoning Commission met at 7:00 p.m. September 30, 2021 at the Double Oak Town Hall, located at 320 Waketon Road with the following members present to-wit:

|                 |                             |
|-----------------|-----------------------------|
| Andrew Weaver   | Chairman                    |
| Wayne Atkins    | Vice Chair                  |
| Gary Goodman    | Commission Member           |
| Bonnie Morrow   | Alternate Commission Member |
| Patrick Johnson | Alternate Commission Member |

constituting a quorum. Commission members Georgette Cook, Martha Holman, Donna Gilliam and Mike Fickling were absent. Alternate Commission member Kristin Harris was also absent. Assistant Town Secretary Lynn Jones was present.

Chairman Weaver called the meeting to order at 7:00 p.m.

2) Citizens Comments

Diana Brown - 115 South Forest, Double Oak

Ms. Brown stated that 200 Kings Road is across the creek from the property she owns. Ms. Brown spoke about the house that was built on 210 Kings Road and the amount of dirt that had been brought in.

Lewis Lawrence - 105 South Forest, Double Oak

Mr. Lawrence stated that the property at 200 Kings Road abuts his property. He is at the meeting to find out the differences in Agriculture 1 and Agriculture 2.

3) Consideration and action on the minutes of April 6, 2021

Motion Morrow, second Goodman to approve the April 6, 2021 minutes.

AYE: Morrow, Johnson, Atkins, Weaver and Goodman

NAY: None

ABSTAIN: None

Motion Carried

4) Public hearing: on a request to change the zoning from Agriculture 1 to Agriculture 2 on a tract of land located at Kings Manor Lot 1 Block A or more generally known as 200 Kings Road, Double Oak Texas.

Chairman Weaver opened the public hearing at 7:05 pm.

David McKenzie, designated agent for the owner of the property spoke. He stated that Agriculture 2 allows for a structure to be built on the property and the current zoning of Agriculture 1 does not allow it.

Andrew Bruce the owner of the property at 200 Kings Road spoke.

Chairman Weaver closed the public hearing at 7:18 pm

5) Consider and act: on a recommendation to the Town Council for a request to change the zoning from Agriculture 1 to Agriculture 2 on a tract of land located at Kings Manor Lot 1 Block A or more generally known as 200 Kings Road, Double Oak Texas.

Motion Morrow, second Goodman to recommend to the Town Council to change the zoning from Agriculture 1 to Agriculture 2 at 200 Kings Road.

AYE: Goodman, Atkins, Weaver, Morrow and Johnson  
NAY: None  
ABSTAIN: None

Motion Carried

6) Consider and act: on a recommendation to the Town Council for approval of a site plan for Braum's located at Lot 5 Block A of the Crossroads Bible Church Addition.

No action was taken on this item

7) Adjourn

Motion Goodman, seconded Atkins to adjourn the meeting.

With no further business to come before the Planning and Zoning Commission, the meeting was adjourned at 7:22 p.m.

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Lynn Jones, Assistant Town Secretary

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Andrew Weaver, P&Z Chairman



October 25, 2021  
AVO 37946.121

Ms. Eileen Kennedy  
Town Secretary  
Town of Double Oak  
320 Waketon Road  
Double Oak, Texas 75077

RE: Braum's Civil and Site Plan – Letter of Recommendation

Dear Ms. Kennedy,

Half Associates reviewed the third (3<sup>rd</sup>) revision to the Civil Site Plan for the future Braum's development and recommend approval of the Civil Drawings.

Sincerely,

**HALFF ASSOCIATES, INC.**

A handwritten signature in blue ink, appearing to read "SDT", is written over a faint, illegible printed name.

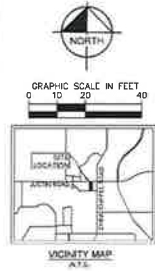
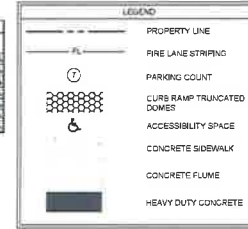
Steven D. Templer, PE  
Senior Project Manager

Attach: 3 Contracts

F.M. 407  
(JUSTIN ROAD)  
VARIABLE WIDTH RIGHT-OF-WAY

| SITE DATA TABLE - BRAUM'S              |                             |  |
|--|-----------------------------|--|
| LOT/BLOCK                              | LOT 5A, BLOCK 1             |  |
| CROSS ROADS                            | BELE CHURCH ADDITION        |  |
| TOWN                                   | OF DOUBLE OAK TA            |  |
| LAND AREA-SQUARE FEET/ACRES            | 91,397 S.F./2.09 ACRES      |  |
| ZONING                                 | B - BUSINESS                |  |
| ORIENTATION                            | N47°W REQUIRED              |  |
| EXISTING USE                           | VACANT                      |  |
| PROPOSED USE                           | RESTAURANT W/ DRIVE THRU    |  |
| BUILDING AREA-SQUARE FEET              | 6,107 SF                    |  |
| BUILDING HEIGHT (FEET)                 | 20.33                       |  |
| SITE PARKING                           |                             |  |
| PARKING RATIO (FROM ZONING ORDINANCE)  | 1 SPACE PER 300 SQUARE FEET |  |
| REQUIRED PARKING (# SPACES)            | 21 SPACES                   |  |
| PROVIDED PARKING (# SPACES)            | 53 SPACES                   |  |
| ACCESSIBLE PARKING (# SPACES)          | 3 SPACES                    |  |
| ACCESSIBLE PARKING PROVIDED (# SPACES) | 3 SPACES                    |  |

| GROSS AREA TABLE - BRAUM'S |             |       |                              |
|----------------------------|-------------|-------|------------------------------|
| AREA                       | SQUARE FEET | ACRES | PERCENTAGE OF TOTAL PROPERTY |
| HEAVY DUTY PAVEMENT        | 1,441       | 0.032 | 1.6%                         |
| MEDIUM DUTY PAVEMENT       | 42,632      | 0.978 | 46.6%                        |
| CONCRETE FLUME             | 82          | 0.002 | 0.1%                         |
| SIDEWALK                   | 1,420       | 0.031 | 1.5%                         |
| EXISTING STREET            | 1,949       | 0.043 | 2.1%                         |
| BUILDING FOOTPRINT         | 6,236       | 0.141 | 6.8%                         |
| LANDSCAPE                  | 37,533      | 0.854 | 34.9%                        |



**Kimley Horn**  
 4021 W. WILSON AVENUE, SUITE 100, DENVER, CO 80214  
 PHONE: 303.440.1800 FAX: 303.440.1801  
 WWW.KIMLEYHORN.COM

**reprise**  
 DESIGN

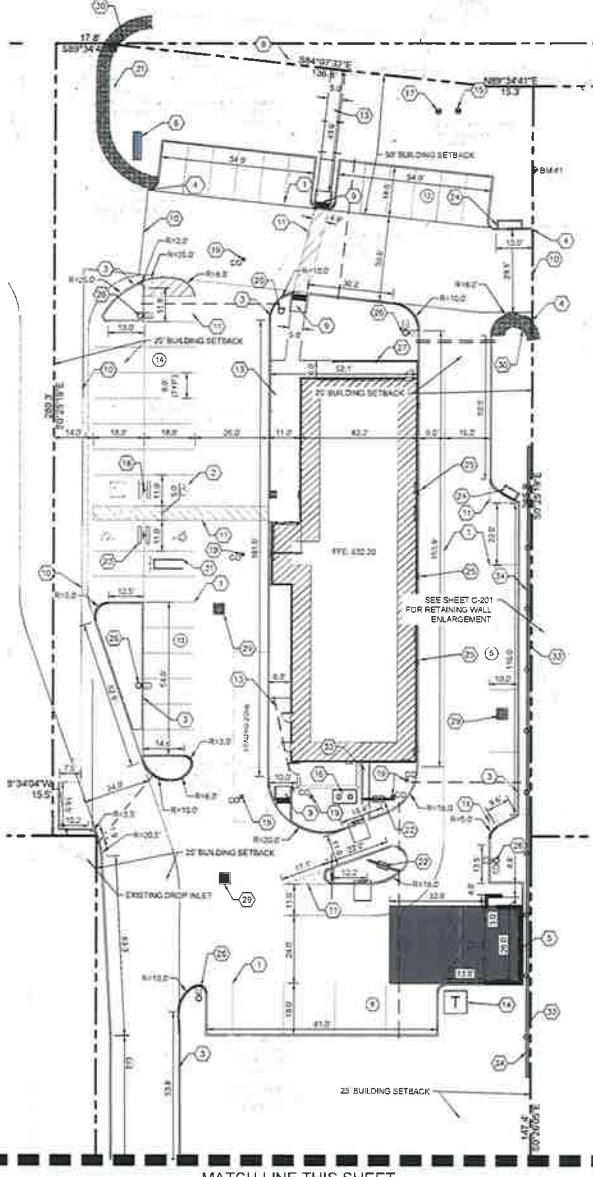
THIS DOCUMENT IS INCOMPLETE AND A RELEASE INFORMATION FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 SHEET NO. 320362  
 DATE: NOVEMBER, 2021

**reprise**  
 DESIGN

**BRAUM'S**

**811**  
 Know what's Below.  
 Call before you dig.

EX-1



**DIMENSIONAL CONTROL NOTES**

1. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL ROAD 'X' UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT SHALL BE MEDIUM DUTY CONCRETE UNLESS OTHERWISE NOTED.
4. REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR SITE LIGHTING POLES AND FIXTURES PRIOR TO PLACING PAVEMENT.
5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
6. FIELD VERIFY ADA GRABBERS PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND TASK.
7. REFER TO IRRIGATION PLANS PRIOR TO PLACING PAVEMENT.
8. CONTRACTOR SHALL INSTALL PARKING STALL STRIPING, ACCESSIBLE STALL STRIPING, ACCESSIBLE CROSSING WALK STRIPING, FIRE LANE STRIPING, ETC.
9. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, STORM SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANT VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.
10. ALL SIGNS AND SIGNAGE SHOWN ON PLANS ARE FOR INFORMATION ONLY. ALL SIGNS AND SIGNAGE SHALL BE APPROVED BY SEPARATE PERMIT.

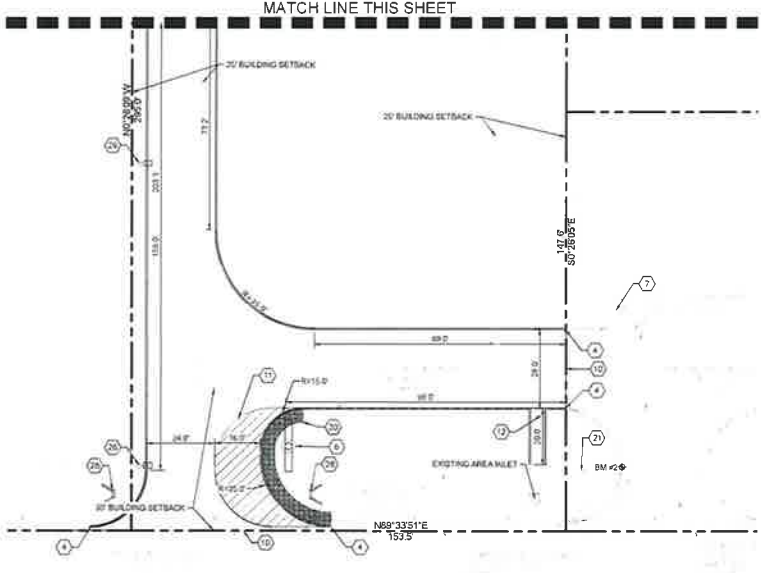
**BENCHMARK INFORMATION**

BM #1 'X' CHISELED IN TOP OF CONCRETE HEADWALL LOCATED WITHIN LOT 6B, BLOCK A OF CROSSROADS BELE CHURCH ADDITION RECORDED IN DCC NO. 2014-237, P.R.D.C.T. APPROXIMATELY 1' WEST AND 20' SOUTH OF THE NORTHWEST CORNER THEREOF. ELEVATION (NAVD 88) 529.01

BM #2 'X' CHISELED IN TOP OF CONCRETE CURB LOCATED WITHIN LOT 7D, BLOCK A OF CROSSROADS BELE CHURCH ADDITION RECORDED IN DCC NO. 2014-239, P.R.D.C.T. APPROXIMATELY 20' EAST AND 23' NORTH OF THE SOUTHWEST CORNER THEREOF. ELEVATION (NAVD 88) 529.01

**KEYED NOTES**

1. PAVEMENT STRIPING 4" SOLID YELLOW STRIPS (TYP.)
2. ACCESSIBLE WALKING STALL WITH ACCESSIBLE PARKING (TYP.) (RE. C-480)
3. 2" FINE & CURB AND GUTTER (TYP.) (RE. C-480)
4. FINE CURB TO RAMP EXISTING DRIVE
5. TRAP GUMSTICK AREA (ARCHITECTURAL PLANS)
6. 10' X 6' MONUMENT SIGN
7. EXISTING LIGHT POLE
8. EXISTING POWER POLE TO REMAIN
9. ACCESSIBLE RAMP (RE. C-480)
10. 3/4" X 1/2" X 1/2" CUSTOM PAVEMENT LINE
11. 4" FINE YELLOW STRIPS @ 3' O.C. (TYP.) (RE. C-480)
12. CONCRETE FLUME (RE. C-480)
13. CONCRETE HEADWALL (RE. C-480)
14. TRANSFORMER (RE. WEP PLANS)
15. CONCRETE WATER METER
16. GREASE TRAP (RE. WEP)
17. IRRIGATION WATER METER
18. ADA PARKING SIGN (TYP.) (RE. C-480)
19. SANITARY SEWER CLEAN-OUT (RE. C-480)
20. FIRE DEPARTMENT CONNECTION
21. EXISTING FIRE HYDRANT
22. WOOD SIGNS AND OVERHANGS
23. PRECAST CONCRETE SHELL STOP (TYP.) (RE. C-480)
24. CURB PILE (RE. C-480)
25. LEIS WALL FACE
26. PROPOSED LIGHT POLE (RE. C-480)
27. SIDEWALK RAMP (RE. C-480)
28. CONCRETE HEADWALL (RE. C-480)
29. 20' X 20' HEADWALL (RE. C-480)
30. STAMPED CONCRETE SIDEWALK (TYP.) (RE. C-480)
31. GART RETURN
32. 7' FLUME COORDINATE WITH DOWN SPOUTS
33. PROPOSED RETAINING WALL (RE. C-201, WEP)
34. FENCE AT FACE OF WALL (RE. C-201, WEP)



DATE: 11/15/21  
 TIME: 10:00 AM  
 DRAWN BY: J. H. HARRIS  
 CHECKED BY: J. H. HARRIS  
 PROJECT NO.: 21-0001  
 SHEET NO.: 320362  
 DATE: 11/15/21

# CIVIL CONSTRUCTION PLANS

FOR

# BRAUM'S ICE CREAM STORE

IN

## THE TOWN OF DOUBLE OAK, DENTON COUNTY, TEXAS

8421 FM 407 DOUBLE OAK, TX 75077

|  |
|--|
| <b>CIVIL ENGINEER</b>  |
| <b>Kimley-Horn</b><br>14101 WIRELESS WAY<br>BUILDING A, SUITE 150<br>OKLAHOMA CITY, OK 73134<br>PHONE: 405-241-5428<br>CONTACT: GARRETT PUTMAN |
| <b>OWNER</b>   |
| <b>BRAUM'S ICE CREAM STORE</b><br>3000 NE 63RD ST<br>OKLAHOMA CITY, OK 73125<br>PHONE: 405-629-7223<br>CONTACT: KOTY FORAN                     |



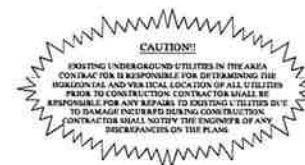
| SHEET INDEX |                            |
|-------------|----------------------------|
| SHEET No.   | SHEET TITLE                |
| C-001       | COVER SHEET                |
| C-002       | GENERAL NOTES              |
| C-100       | DEFINITION PLAN            |
| C-200       | DIMENSIONAL CONTROL PLAN   |
| C-301       | RETAINING WALL ENLARGEMENT |
| C-302       | GRADING PLAN               |
| C-300       | GRADING PLAN               |
| C-301       | EXISTING DRAINAGE AREA MAP |
| C-302       | PROPOSED DRAINAGE AREA MAP |
| C-400       | UTILITY PLAN               |
| C-401       | STORM PLAN                 |
| C-402       | STORM PROFILES             |
| C-403       | STORM SEWER CALCUS         |
| C-404       | EROSION CONTROL PLAN       |
| C-501       | EROSION CONTROL DETAILS    |
| C-600       | CONSTRUCTION DETAILS 1     |
| C-601       | CONSTRUCTION DETAILS 2     |
| C-602       | CONSTRUCTION DETAILS 3     |
| C-603       | CONSTRUCTION DETAILS 4     |
| C-604       | CONSTRUCTION DETAILS 5     |
| C-605       | CONSTRUCTION DETAILS 6     |



Garrett Putman 10/22/2021

- ▲ REVISIONS 07/05/2021
- ▲ REVISIONS 09/05/2021
- ▲ REVISIONS 10/22/2021

# SEPTEMBER 2021



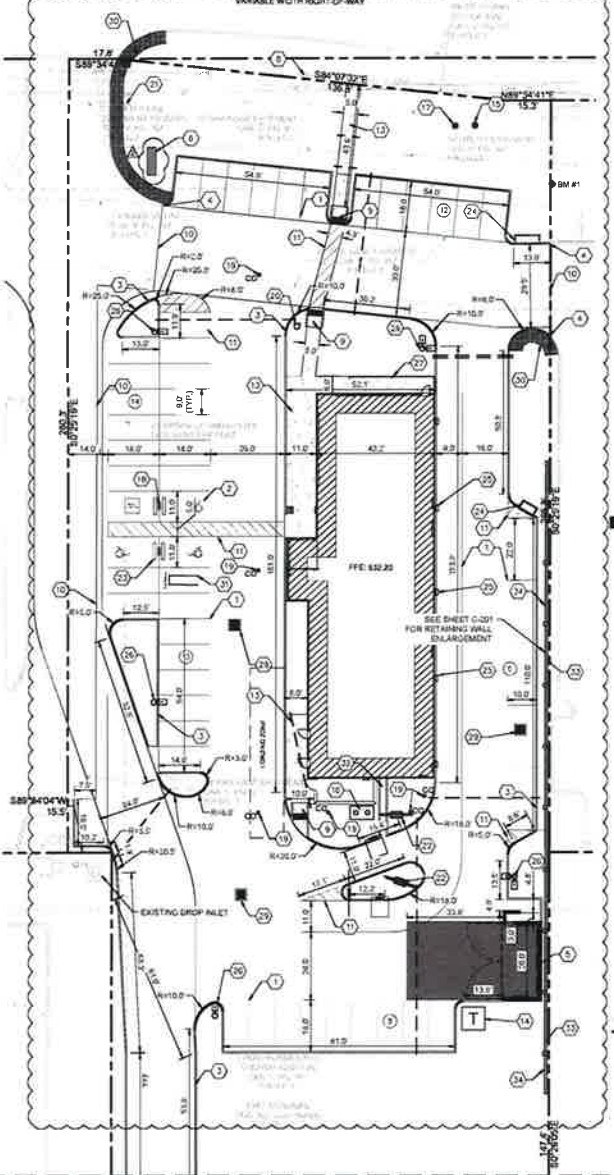
Know what's Below.  
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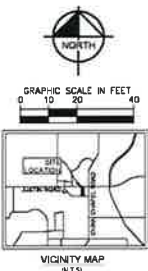
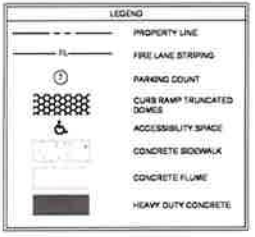


F.M. 407  
(JUSTIN ROAD)  
VARIABLE WIDTH RIGHT-OF-WAY



| SITE DATA TABLE - BRAUM'S              |   |
|--|---|
| LOT/BLOCK                              | LOT 518, BLOCK 1<br>CROSS ROADS BIBLE CHURCH ADDITION<br>TOWN OF DOUBLE OAK, TX |
| LAND AREA (SQUARE FEET/ACRES)          | 81,397 S.F./2.098 ACRES   |
| ZONING                                 | B - BUSINESS  |
| DEVELOPMENT                            | NOT REQUIRED  |
| EXISTING USE                           | VACANT  |
| PROPOSED USE                           | RESTAURANT W/ DRIVE THRU  |
| BUILDING AREA (SQUARE FEET)            | 6,987 SF  |
| BUILDING HEIGHT (FEET)                 | 20 FT   |
| SITE PARKING                           |   |
| PARKING RATIO (FROM ZONING ORDINANCE)  | 1 SPACE PER 300 SQUARE FEET   |
| REQUIRED PARKING (# SPACES)            | 23 SPACES   |
| PROVIDED PARKING (# SPACES)            | 93 SPACES   |
| ACCESSIBLE PARKING REQ'D (# SPACES)    | 3 SPACES  |
| ACCESSIBLE PARKING PROVIDED (# SPACES) | 3 SPACES  |

| GROSS AREA TABLE - BRAUM'S |             |       |                              |
|----------------------------|-------------|-------|------------------------------|
| AREA                       | SQUARE FEET | ACRES | PERCENTAGE OF TOTAL PROPERTY |
| HEAVY DUTY PAVEMENT        | 1,441       | 0.033 | 1.6%                         |
| MEDIUM DUTY PAVEMENT       | 42,632      | 0.975 | 46.6%                        |
| CONCRETE FLUME             | 32          | 0.002 | 0.1%                         |
| SIDEWALK                   | 1,022       | 0.023 | 1.6%                         |
| FEET AND STREET            | 7,449       | 0.169 | 8.6%                         |
| BUILDING FOOTPRINT         | 6,234       | 0.143 | 6.8%                         |
| LANDSCAPE                  | 31,533      | 0.724 | 34.5%                        |



**DIMENSIONAL CONTROL NOTES**

- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RAGE 3 UNLESS OTHERWISE NOTED.
- ALL PAVEMENT SHALL BE MEDIUM DUTY CONCRETE UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND ELECTRICAL PLANS FOR SITE LIGHTING POLES AND FIXTURES PRIOR TO PLACING PAVEMENT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- FIELD VERIFY ADA GRADES PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND TASK.
- REFER TO IRRIGATION PLANS PRIOR TO PLACING PAVEMENT.
- CONTRACTOR SHALL INSTALL, PARKING STALL STRIPING, ACCESSIBLE STALL STRIPING, ACCESSIBLE CROSSING WALK STRIPING, FIRE LANE STRIPING, ETC.
- CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, STORM SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.

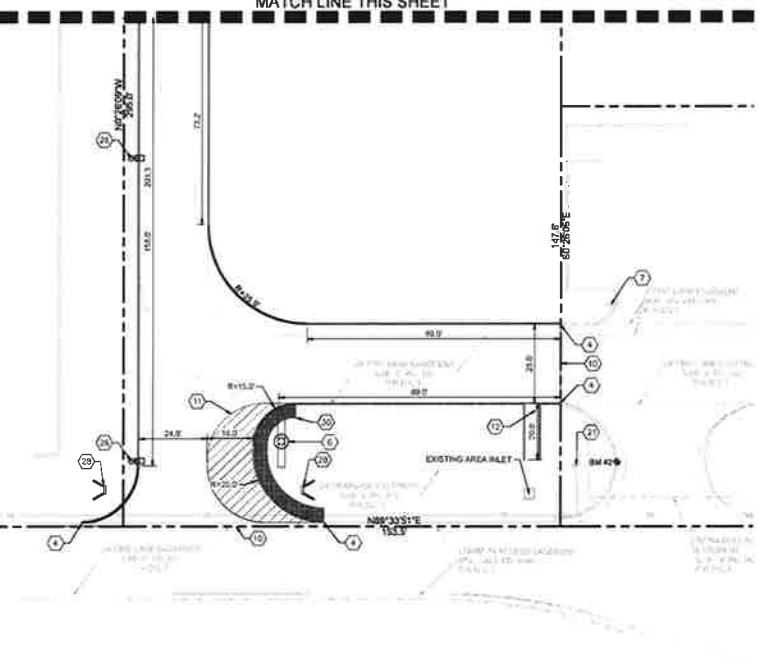
ALL SIGNS AND SIGNAGE SHOWN ON PLANS ARE FOR INFORMATION ONLY. ALL SIGNS AND SIGNAGE SHALL BE APPROVED BY SEPARATE PERMIT.

**BENCHMARK INFORMATION**

BM #1: "X" CHISELED IN TOP OF CONCRETE CURB LOCATED WITHIN LOT 78, BLOCK A OF CROSSROADS BIBLE CHURCH ADDITION RECORDED IN DOC. NO. 2014337 P.R.D.C.T. APPROXIMATELY 1' WEST AND 30' SOUTH OF THE NORTHWEST CORNER THEREOF. ELEVATION (NAVD 88) 823.88

BM #2: "X" CHISELED IN TOP OF CONCRETE CURB LOCATED WITHIN LOT 79, BLOCK A OF CROSSROADS BIBLE CHURCH ADDITION RECORDED IN DOC. NO. 2014348 P.R.D.C.T. APPROXIMATELY 30' EAST AND 23' NORTH OF THE SOUTH-WEST CORNER THEREOF. ELEVATION (NAVD 88) 828.01

- KEYED NOTES**
- PAVEMENT STRIPING, 4" SOLID YELLOW STRIPS (TYP)
  - ACCESSIBLE PAVING STALL WITH ACCESSIBLE PARKING SYMBOL (TYP) (RE C-400)
  - 8" TYPE A CURB AND GUTTER (TYP) (RE C-400)
  - END CURB TO INTO EXISTING CURB
  - TRASH DUMPSTER AREA (ARCHITECTURAL PLANS)
  - 1/2" X 4" ANCHORMENT SEW
  - EXISTING LIGHT POLE
  - EXISTING POWER POLE TO REMAIN
  - ACCESSIBLE RAMP (RE C-400)
  - SMALL/MEDIUM EXISTING PAVEMENT LANE
  - 4" WIDE YELLOW STRIPS @ 30' O.C. (TYP) (RE C-400)
  - CONCRETE FLUME (RE C-400)
  - CONCRETE SIDEWALK (RE C-400)
  - TRANSFORMER (RE MEP PLANS)
  - DOMESTIC WATER METER
  - GREASE TRAP (RE MEP)
  - IRRIGATION WATER METER
  - ADA PARKING SIGN (TYP) (RE C-400)
  - SANITARY SEWER CLEAN-OUT (RE C-401)
  - FIRE DEPARTMENT CONNECTION
  - EXISTING FIRE HYDRANT
  - WALK BOARD AND OVERLAP
  - PRECAST CONCRETE WHEEL STOP (TYP) (RE C-400)
  - CURB INLET (RE C-400)
  - LES WALL PAV
  - PROPOSED LIGHT POLE (RE C-401)
  - SIDEWALK BALING (RE C-401)
  - CONCRETE HEADWALL (RE C-400)
  - 22" X 22" AREA INLET (RE C-400)
  - STAMPED CONCRETE SIDEWALK (TYP) (RE C-400)
  - CART RETURN
  - 2" FLUME COORDINATE W/ DOWN SPOUTS
  - PROPOSED RETAINING WALL (RE C-201 C-401)
  - FENCE AT FACE OF WALL (RE C-201 C-401)



DATE: 07/20/2021  
DRAWN BY: SCW  
CHECKED BY: STP  
JOB NO.: 061297120

MATCH LINE THIS SHEET



BRAUM'S ICE CREAM & DAIRY  
BRAUM'S STORE MODEL (AL-B)  
8421 FM 407  
DOUBLE OAK, TX 75077



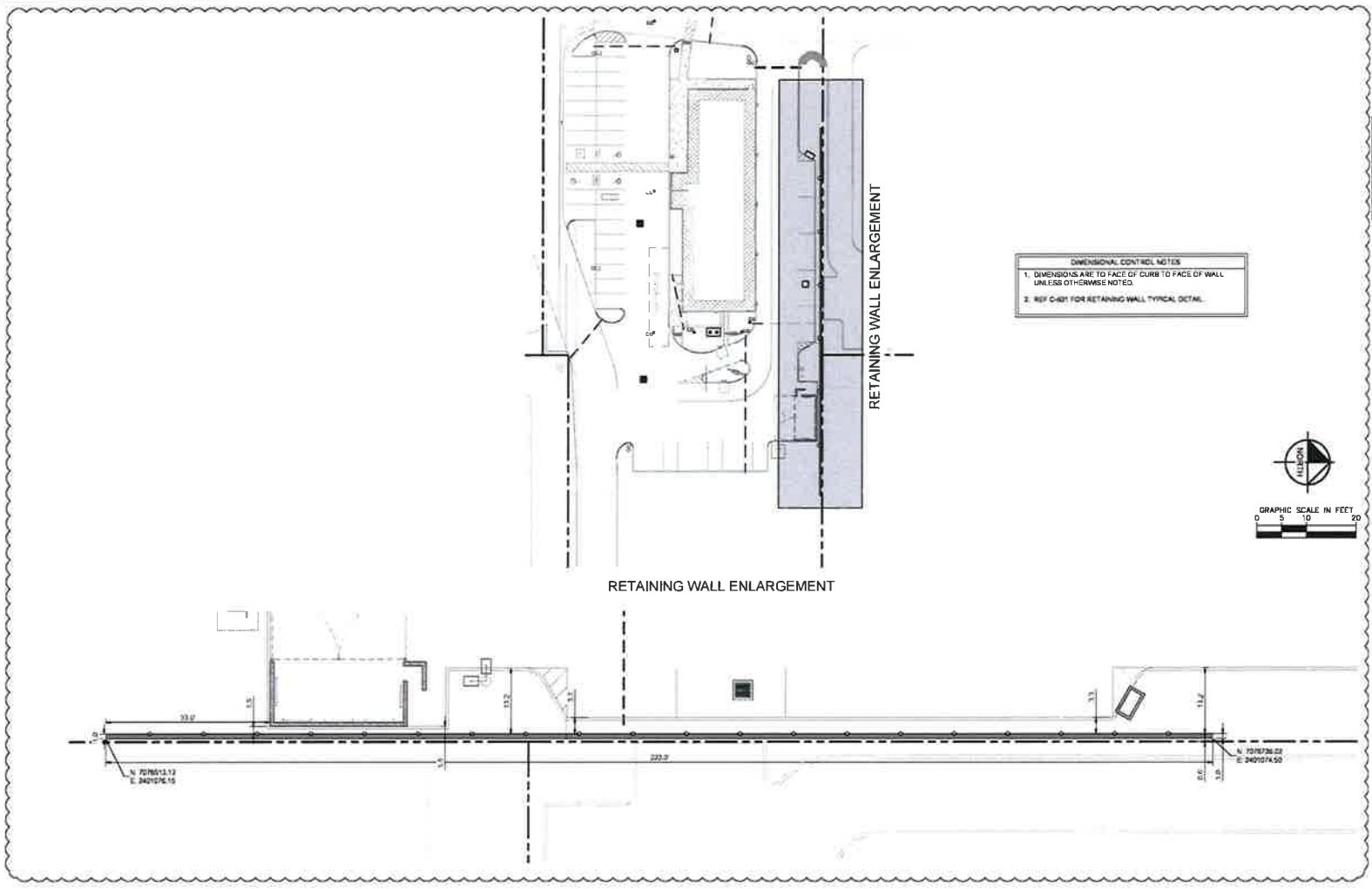
DATE ISSUED:  
ISSUE FOR PERMIT:  
07/20/2021  
REVISIONS: 07/26/2021  
REVISIONS: 09/30/2021

DRAWN BY: SCW  
CHECKED BY: STP  
JOB NO.: 061297120  
C-200

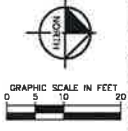
DIMENSIONAL CONTROL PLAN

DATE: 07/28/2021  
 DRAWN BY: J. W. HORN  
 CHECKED BY: J. W. HORN  
 811 CALL CENTER: 1-800-811-8111  
 811 CALL CENTER: 1-800-811-8111

A



**DIMENSIONAL CONTROL NOTES**  
 1. DIMENSIONS ARE TO FACE OF CURB TO FACE OF WALL UNLESS OTHERWISE NOTED.  
 2. REF C-401 FOR RETAINING WALL TYPICAL DETAIL.



**811**  
 Know what's below.  
 Call before you dig.

**Kimley»Horn**  
 © 2011 KIMLEY-HORN AND ASSOCIATES, INC.  
 1410 WIRELESS WAY, BLDG 200A, SUITE 100, DALLAS, TX 75244  
 PHONE: 972-343-2222 FAX: 972-343-8878  
 WWW.KHA.COM

**reprise**  
 ARCHITECTURE INC.  
 1410 WIRELESS WAY, BLDG 200A, SUITE 100, DALLAS, TX 75244  
 PHONE: 972-343-2222 FAX: 972-343-8878  
 WWW.REPRISearch.com



**BRAUM'S ICE CREAM & DAIRY**  
 BRAUM'S STORE MODEL (M-L-B)  
 8421 FM 407  
 DOUBLE OAK, TX 75077

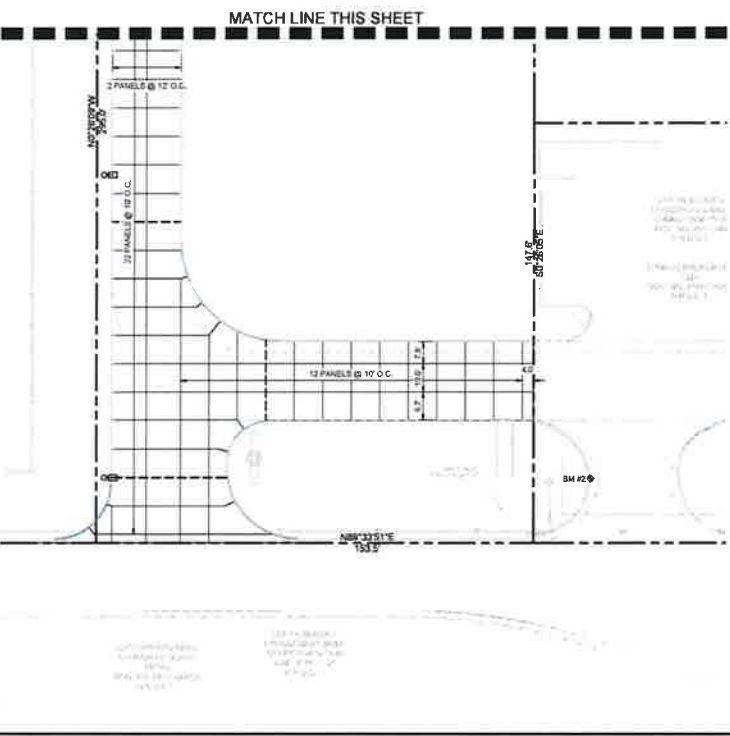
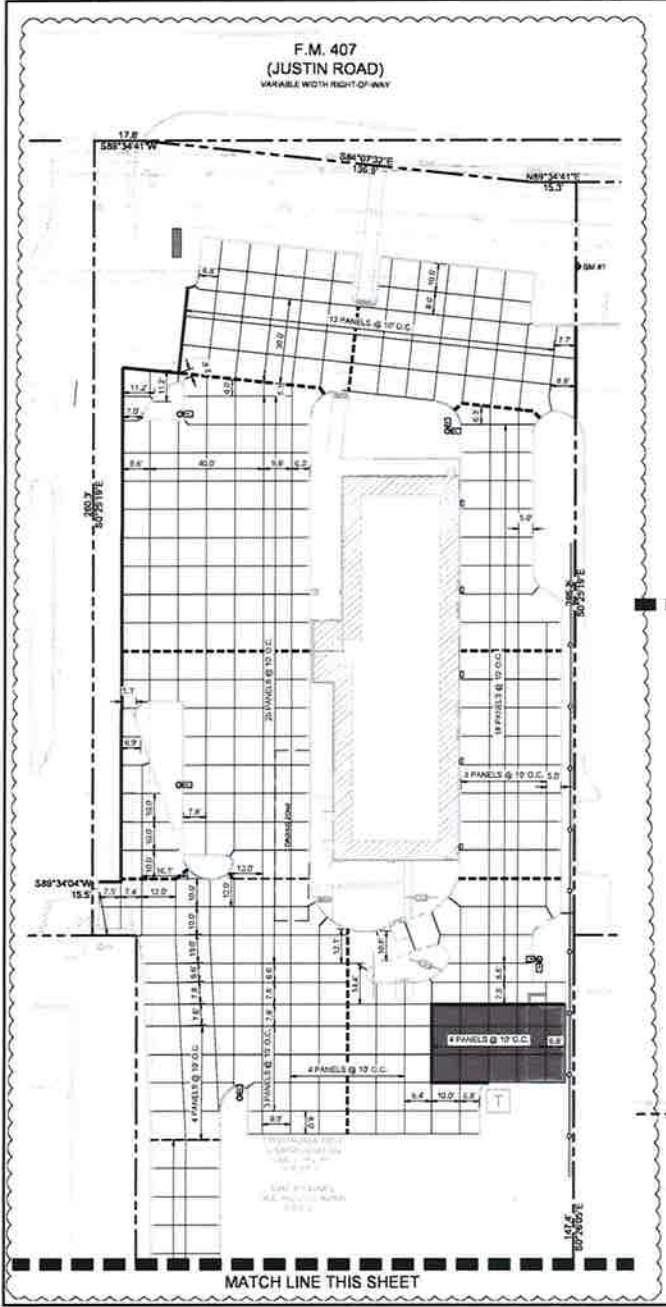
**RETAINING WALL ENLARGEMENT**

**BRAUM'S**

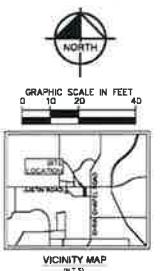
DATE ISSUED: 07/28/2021  
 ISSUE FOR PERMIT: 07/20/2021  
 REVISIONS: 07/28/2021  
 REVISIONS: 08/30/2021

DRAWN BY: JWH  
 CHECKED BY: JWH  
 JOB NO: 061997130  
 C-201

DATE: 07/25/2021  
 DRAWN BY: J. HORN  
 CHECKED BY: J. HORN  
 JOB NO: 061291220



F.M. 407  
 (JUSTIN ROAD)  
 VARIABLE WIDTH RIGHT-OF-WAY



**LEGEND**

|  |                             |
|--|-----------------------------|
|  | PROPOSED SAW CUT JOINT      |
|  | PROPOSED CONSTRUCTION JOINT |
|  | PROPOSED EXPANSION JOINT    |
|  | CONCRETE FLUME              |
|  | MEDIUM DUTY CONCRETE        |
|  | HEAVY DUTY CONCRETE         |

- NOTES**
- 1) ALL PAVEMENT SHALL BE MEDIUM DUTY CONCRETE UNLESS OTHERWISE NOTED.
  - 2) CONCRETE PANELS SHALL BE NO GREATER THAN 15'x15'
  - 3) CONTRACTOR SHALL ADJUST JOINTING LAYOUT TO AVOID ANY PANELS SMALLER THAN 3' WIDE.
  - 4) SEE SHEET C-200 FOR PAVING DETAILS AND NOTES.

**Kimley-Horn**  
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 11111 WIRELESS WAY, BUILDING A, SUITE 150, DALLAS, TX 75244  
 PHONE: 972.382.1111  
 WWW.KIMLEY-HORN.COM

**reprise**  
 RECONSTRUCTION  
 DESIGN



**BRAUM'S ICE CREAM & DAIRY**  
 BRAUM'S STORE MODEL (AL-8)  
 DOUBLE OAK, TX 75077



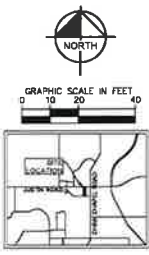
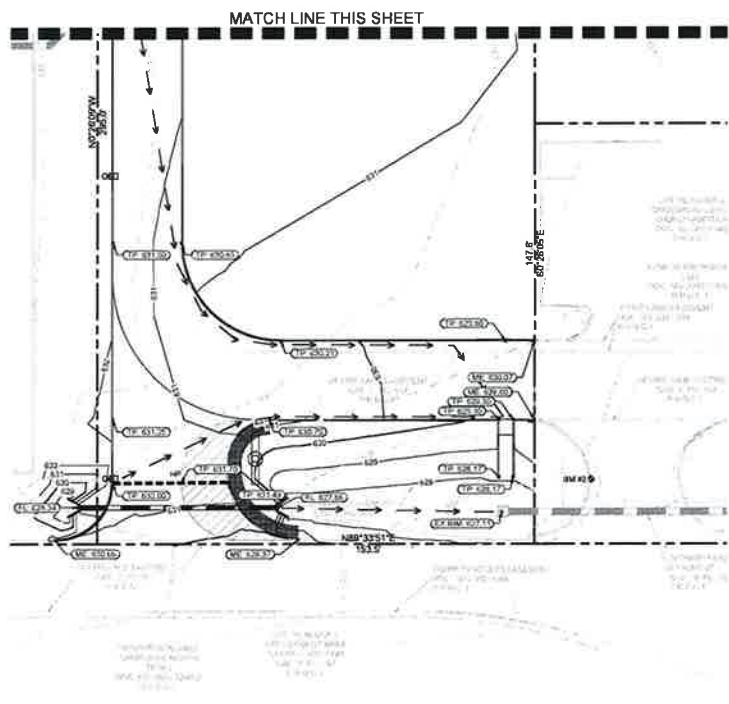
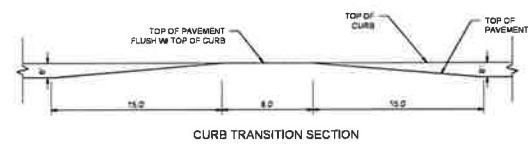
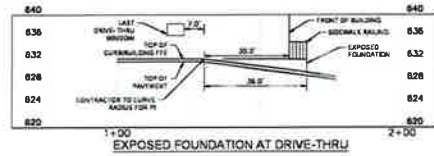
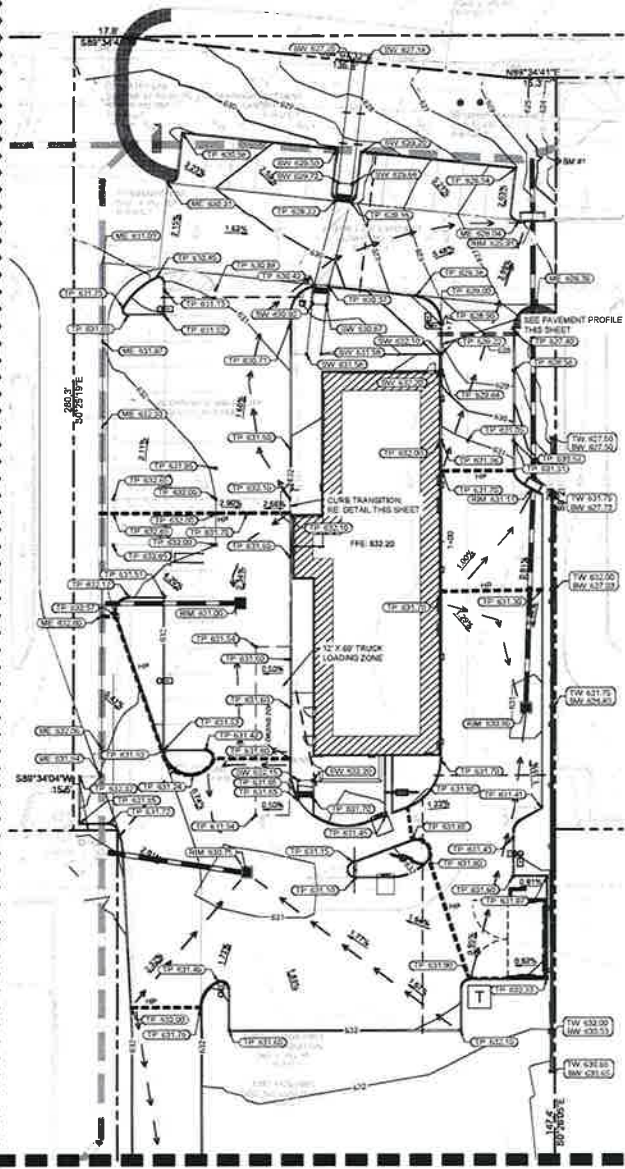
**DATE ISSUED:** 07/01/2021  
**ISSUE FOR PERMIT:** 07/01/2021  
**REVISIONS:** 07/25/2021  
**REVISIONS:** 09/30/2021

**811**  
 Know what's below.  
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**C-202**

**JOINTING PLAN**

F.M. 407  
(JUSTIN ROAD)  
VARIABLE WIDTH RIGHT-OF-WAY



LEGEND

|           |                           |
|-----------|---------------------------|
| — 650 —   | PROPOSED CONTOURS         |
| — — —     | EXISTING CONTOURS         |
| ◀ TP 1330 | TOP OF PAVEMENT           |
| ◀ SW 1330 | MATCH EXISTING ELEVATION  |
| ◀ NW 1330 | TOP OF SIDEWALK ELEVATION |
| ◀ SE 1330 | TOP OF RIM ELEVATION      |
| ◀ SW 1330 | TOP OF WALL               |
| ◀ SE 1330 | BOTTOM OF WALL            |
| — — —     | HIGH POINT                |
| → → →     | FLOW PATH                 |

- GRADING NOTES
1. ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL CONFORM TO ALL APPLICABLE AMERICANS WITH DISABILITIES ACT STANDARDS.
  2. ALL SIDEWALKS AND ACCESSIBLE ROUTES, INCLUDING DRIVEWAY CROSSWALKS, SHALL NOT EXCEED A RUNNING SLOPE OF 5% (1:20) WITHOUT A RAMP, AND SHALL NOT EXCEED A % CROSS SLOPE (1:50).
  3. THE ACCESSIBLE PARKING AND PASSENGER LOADING AREAS SHALL NOT EXCEED A SLOPE OF 2% (1:50) IN ANY DIRECTION.
  4. ALL VALVES, FIRE HYDRANT APPURTENANCES, AND UTILITY STRUCTURES SHALL BE ADJUSTED TO PROPER LINE AND GANGE BEFORE FINAL ACCEPTANCE.
  5. CONTRACTOR SHALL SOO ALL DISTURBED AREAS WHICH ARE NOT PAVED UNLESS OTHERWISE INDICATED ON LANDSCAPING PLANS.
  6. MINIMUM SLOPES SHALL BE 0.5% MAXIMUM SLOPES SHALL NOT EXCEED 3% IV.

- BENCHMARK INFORMATION
- BM #1 "X" CHISELED IN TOP OF CONCRETE HEADWALL LOCATED WITHIN LOT 88, BLOCK A OF CROSSROADS BIBLE CHURCH ADDITION RECORDED IN DCC. NO. 2014-337, P. 8 D.C.T., APPROXIMATELY 1' WEST AND 30' SOUTH OF THE NORTH-WEST CORNER THEREOF. ELEVATION (NAVD 88) 623.68
  - BM #2 "X" CHISELED IN TOP OF CONCRETE CURB LOCATED WITHIN LOT 78, BLOCK A OF CROSSROADS BIBLE CHURCH ADDITION RECORDED IN DCC. NO. 2014-348, P. 8 D.C.T., APPROXIMATELY 20' EAST AND 21' NORTH OF THE SOUTH-WEST CORNER THEREOF. ELEVATION (NAVD 88) 629.01



**Kimley»Horn**  
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ARCHITECTURE, INC.  
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**BRAUM'S ICE CREAM & DAIRY**  
BRAUM'S STORE MODEL (N-B)  
8421 FM 407  
DOUBLE OAK, TX 75077



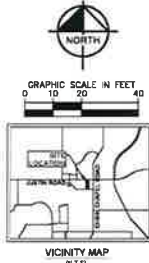
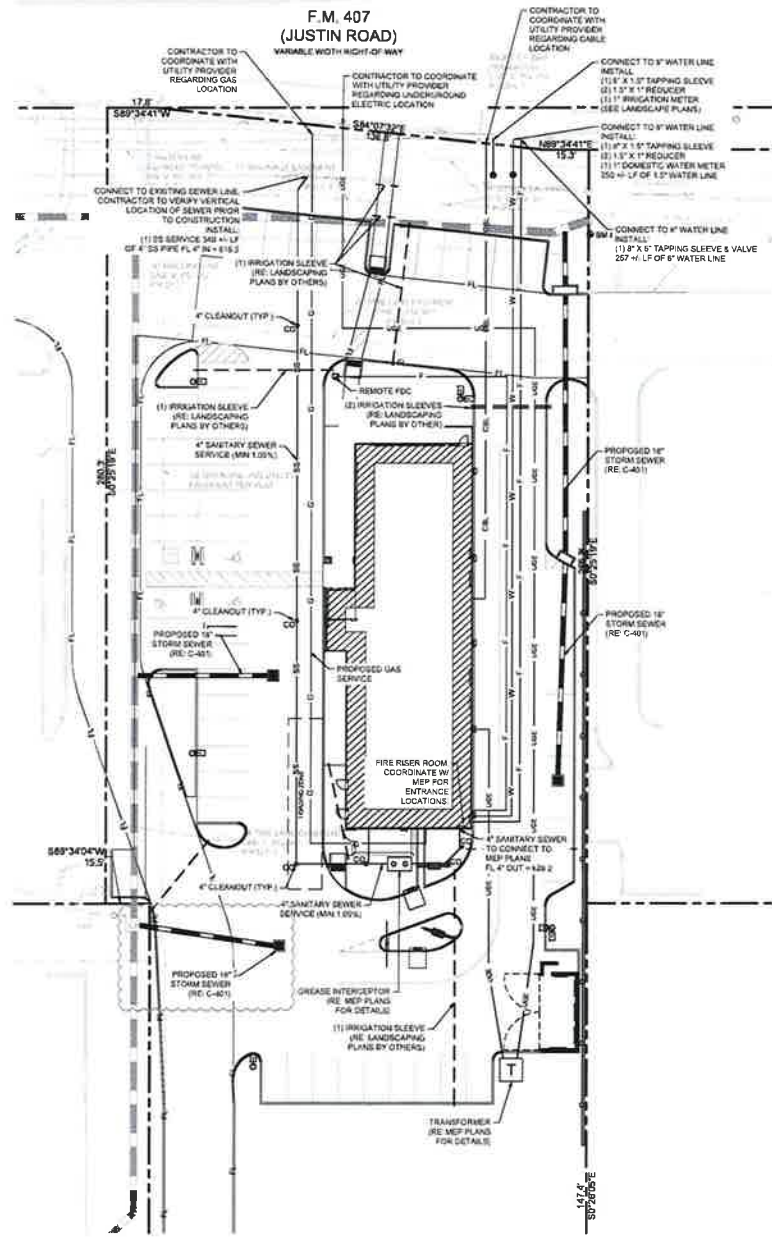
DATE ISSUED  
SHEET FOR PERMIT  
07/01/2021  
REVISIONS 07/26/2021  
REVISIONS 09/30/2021

DRAWN BY: SEW  
CHECKED BY: CTP  
JOB NO.: 06129730

C-300







**LEGEND**

|     |   |
|-----|---|
| --- | PROPERTY LINE   |
| --- | EXISTING WATER LINE   |
| --- | EXISTING SANITARY SEWER                                     |
| --- | EXISTING OVER-HEAD ELECTRIC                                 |
| --- | EXISTING GAS LINE   |
| --- | EXISTING STORM SEWER  |
| SS  | PROPOSED SANITARY SEWER                                     |
| G   | PROPOSED GAS LINE   |
| LOE | PROPOSED UNDERGROUND ELECTRIC                               |
| CSL | PROPOSED COMM. CABLE  |
| W   | PROPOSED WATER LINE   |
| --- | PROPOSED FIRE LINE  |
| --- | PROPOSED STORM SEWER  |
| --- | PVC CONDUIT FOR IRRIGATION (RE LANDSCAPING PLANS BY OTHERS) |
| --- | PROPOSED FDC  |
| --- | PROPOSED VALVE  |
| --- | PROPOSED WATER METER  |
| --- | EXISTING FIRE HYDRANT                                       |

- NOTES**
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHEREAS POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  2. CONTRACTOR SHALL VERIFY THE EXISTING HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
  3. ALL WATER AND SEWER LINES AS WELL AS TAPPING CONNECTIONS TO EXISTING PUBLIC WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL MUNICIPALITIES STANDARDS SPECIFICATIONS AND DETAILS WITH ALL ADDENDA AND AMENDMENTS THERE TO.
  4. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES 72 HOURS BEFORE COMMENCING TO ANY EXISTING LINE.
  5. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4" COVER ON ALL UTILITIES.
  6. WATER LINES CROSSING AND RUNNING PARALLEL TO GRAVITY SEWER LINES AND FORCE MAINS SHALL CONFORM TO THE SEPARATION AND CROSSING REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE § 286.46 PARAGRAPH (E).
  7. LINES UNDERGROUND SHALL BE INSTALLED INSPECTED AND APPROVED BEFORE BACKFILLING.
  8. TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS OR TO BE 24" ABOVE THE PROPOSED GRADE CONDITIONS IN LANDSCAPE AREAS.
  9. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS, TESTING, AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES.
  10. CONTRACTOR SHALL COORDINATE WITH ALL PRIVATE UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
  11. REFER TO ELECTRICAL PLANS FOR SITE LIGHTING.
  12. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC SAFETY MEASURES IN ACCORDANCE WITH OSHA AND LOCAL AGENCY STANDARDS FOR ALL EXCAVATIONS.
  13. THE SITE CONTRACTOR MUST COORDINATE THE TIMING AND INSTALLATION OF ALL UTILITIES (GAS LINES WITH THE GENERAL CONTRACTOR FOR THE BUILDING AND GAS LINES ALL NECESSARY SCHEDULE MANAGEMENT FOR TEMPORARY OR PERMANENT GAS LINES FOR THE PROJECT SCHEDULE.
  14. THE SCOPE OF UTILITIES STUBS TO THE PROPOSED BUILDINGS IN THIS PLAN SET SHALL TERMINATE OUTSIDE OF THE BUILDING.
  15. ALL WATER AND SANITARY SEWER SERVICES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE APPLICABLE PLUMBING CODE AND CITY REQUIREMENTS.

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**SAFETY**  
CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC SAFETY MEASURES IN ACCORDANCE WITH OSHA AND LOCAL AGENCY STANDARDS FOR ALL EXCAVATIONS.

**Kimley Horn**  
1410 WIRELESS WAY, SUITE 100, DUNHAM CITY, TN 37318  
PH: 615.441.1000 FAX: 615.441.1001

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ARCHITECTURE  
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**BRAUM'S ICE CREAM & DAIRY**  
BRAUM'S STORE MODEL (A-1-B)  
86421 FM 407  
DOUBLE OAK, TX 75077

**BRAUM'S**

|                  |            |
|------------------|------------|
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| ISSUE FOR PERMIT | 07/21/2021 |
| REVISIONS        | 07/28/2021 |
| REVISIONS        | 09/30/2021 |

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CHECKED BY: CJP  
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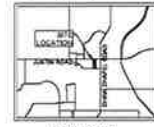
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DATE: 07/21/2021  
BY: SEW  
CHECKED BY: CJP  
JOB NO.: 06199730

F.M. 407  
(JUSTIN ROAD)  
VARIABLE WIDTH RIGHT-OF-WAY



GRAPHIC SCALE IN FEET  
0 10 20 40



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1110 WHEELER AVENUE, SUITE 100  
DALLAS, TEXAS 75241-3472  
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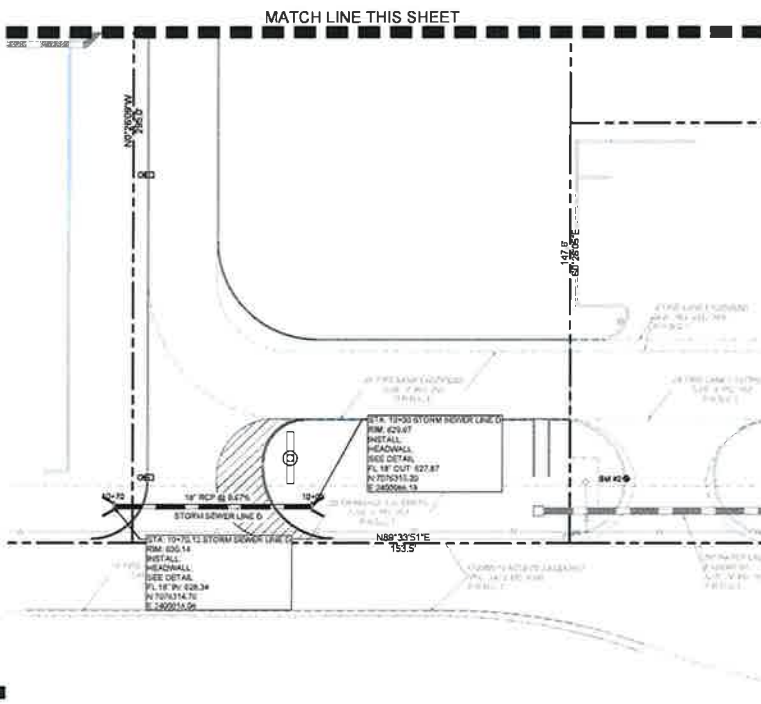
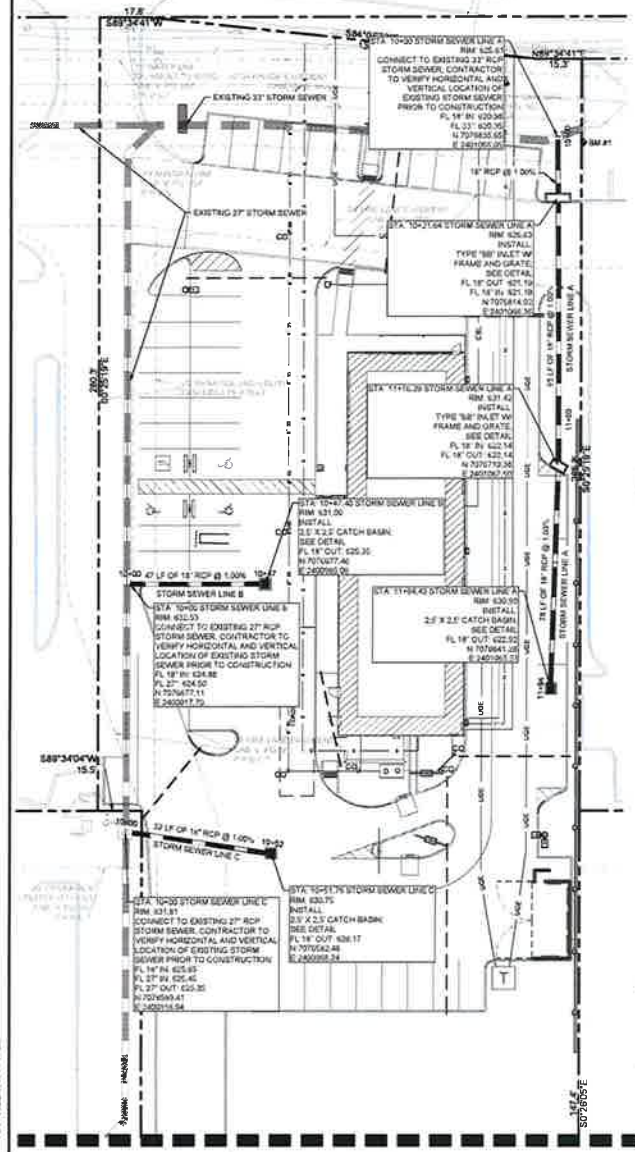
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| LEGEND |                               |
|--------|-------------------------------|
|        | EXISTING STORM SEWER          |
|        | PROPOSED STORM SEWER          |
|        | PROPERTY LINE                 |
|        | EXISTING WATER LINE           |
|        | EXISTING SANITARY SEWER       |
|        | EXISTING OVER-HEAD ELECTRIC   |
|        | EXISTING GAS LINE             |
|        | PROPOSED SANITARY SEWER       |
|        | PROPOSED GAS LINE             |
|        | PROPOSED UNDERGROUND ELECTRIC |
|        | PROPOSED CWM. CABLE           |
|        | PROPOSED WATER LINE           |
|        | PROPOSED FIRE LINE            |

**NOTES**

- REFER TO SHEET C407 FOR GENERAL NOTES.
- REFER TO THE TERMS OF SUBMITTAL AND CONTRACTING AGREEMENT.
- USE 3" DIA. WITH SLOTTED COVER RADIUS OF STORM SEWER @ LESS THAN 10'.
- REFER TO SHEET C407 FOR STORM SEWER MATERIALS AND INSTALLATION.
- ALL STORM SEWER PIPES 18" AND ABOVE SHALL BE 15' MIN. RCP. ALL STORM SEWER PIPES 18" AND BELOW SHALL BE 12' MIN. RCP. ALL STORM SEWER PIPES SHALL BE 18" MIN. RCP. ALL STORM SEWER PIPES SHALL BE 18" MIN. RCP. ALL STORM SEWER PIPES SHALL BE 18" MIN. RCP.
- ALL STORM SEWER PIPES SHALL BE 18" MIN. RCP. ALL STORM SEWER PIPES SHALL BE 18" MIN. RCP.
- CONTRACTOR SHALL NOTIFY ENGINEER IF EXISTING FLOORING ELEVATIONS DO NOT MATCH THOSE SHOWN IN PLANS.



**BRAUM'S ICE CREAM & DAIRY**  
BRAUM'S STORE MODEL (M-L-B)  
8421 FM 407  
DOUBLE OAK, TX 75077



DATE ISSUED  
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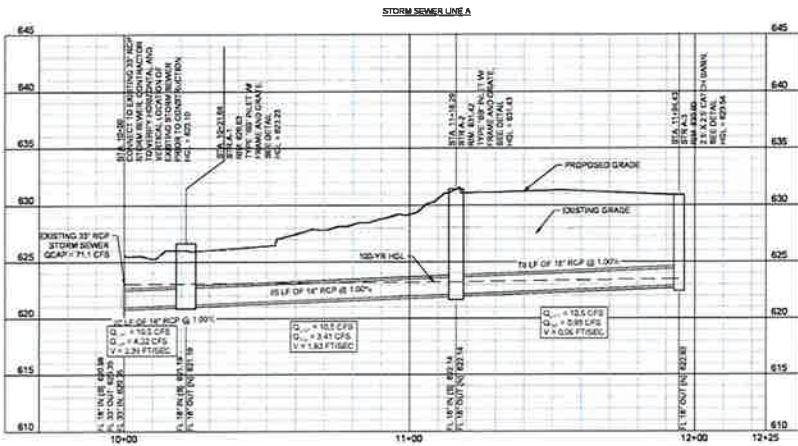
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C-401

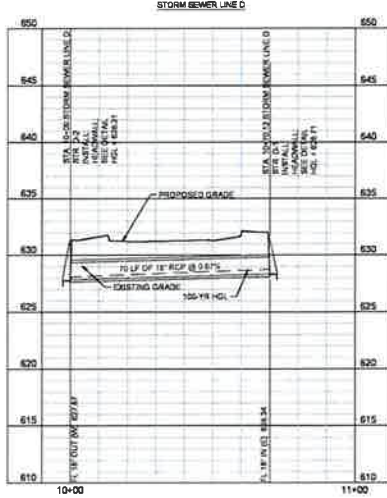
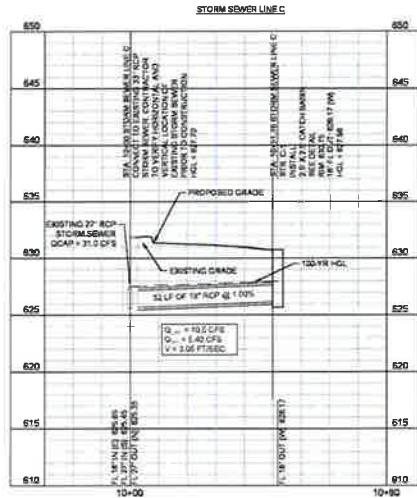
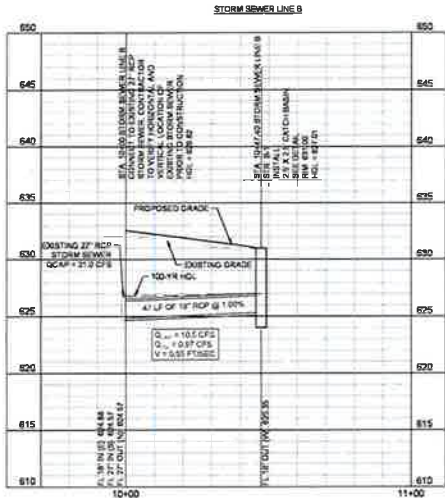
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 TIME: 10:00 AM  
 USER: JHORN  
 PLOT: F:\PROJECTS\2021\07\01\070121\070121.dwg  
 PLOTTER: HP DesignJet T1100PS  
 PLOTTING: 11x17  
 PLOT SCALE: 1.0000  
 PLOT OFFSET: 0.0000  
 PLOT ORIGIN: 0.0000, 0.0000  
 PLOT RANGE: 0.0000, 0.0000  
 PLOT SIZE: 11.0000, 17.0000  
 PLOT TITLE: F.M. 407 (JUSTIN ROAD) STORM SEWER PLAN



DATE: 07/26/2021  
 DRAWN BY: J. L. HARRIS  
 CHECKED BY: J. L. HARRIS  
 PROJECT: BRAUM'S STORE MODEL (AL-B)  
 SHEET: C-402



HORIZONTAL SCALE 1" = 20'  
 VERTICAL SCALE 1" = 5'



**CULVERT REPORT - CULVERT**

Full Scale Computerized for submittal (Cul. 20) by Autodesk, Inc.

|                         |   |              |                              |
|-------------------------|---|--------------|------------------------------|
| <b>Circular Culvert</b> | Invert Elev Dn (ft) = 627.67                      | Calculations | Crmin (cfs) = 1.00           |
|                         | Pipe Length (ft) = 70.00                          |              | Crmax (cfs) = 10.00          |
|                         | Slope (%) = 0.67                                  |              | Tailwater Elev (ft) = Normal |
|                         | Invert Elev Up (ft) = 628.34                      |              |                              |
|                         | Flow (cfs) = 18.0                                 |              |                              |
|                         | Span (ft) = 18.0                                  |              |                              |
|                         | No. Barrels = 1                                   |              |                              |
|                         | Inlet = 0.013                                     |              |                              |
|                         | Culvert Type = Circular Concrete                  |              |                              |
|                         | Culvert Entrance = Square edge withheadwall (C)   |              |                              |
|                         | Coeff. K, M, Z, Yk = 0.0998, 2, 0.0368, 0.67, 0.5 |              |                              |
| <b>Embankment</b>       | Top Elevation (ft) = 632.00                       |              |                              |
|                         | Top Width (ft) = 82.00                            |              |                              |
|                         | Crest Width (ft) = 0.00                           |              |                              |

**Highlighted**

|                     |          |
|---------------------|----------|
| Crmin (cfs)         | = 1.00   |
| Crmax (cfs)         | = 10.00  |
| Tailwater Elev (ft) | = Normal |
| Span (ft)           | = 18.00  |
| No. Barrels         | = 0.00   |
| Inlet               | = 5.66   |
| Culvert Type        | = 630.01 |
| Culvert Entrance    | = 630.61 |
| Coeff. K, M, Z, Yk  | = 1.52   |

**Flow Regime**

|             |                 |
|-------------|-----------------|
| Flow Regime | = Inlet Control |
|-------------|-----------------|



DATE: 08/10/2021  
 TIME: 10:47 AM  
 USER: JIMMY.HORN@KIMLEY-HORN.COM  
 PROJECT: BRAUM'S ICE CREAM & DAIRY STORE  
 SHEET: 04-100-00

| From          | To         | Pipe Length | Drainage Area   |      |       | Runoff "c" | Incr. cA | Total cA | Time of Concentration |        |       | 100-year Intensity | 100-year Runoff | Q Pipe | Pipe Size Diameter | Box Size No. Barrels | n     | Sf     | HGL    |        | Head Loss Calculations |          |       |       |      |          |      |        |        |        | Design HGL | T/C or Ground Elev. |   |   |   |   |  |
|---------------|------------|-------------|-----------------|------|-------|------------|----------|----------|-----------------------|--------|-------|--------------------|-----------------|--------|--------------------|----------------------|-------|--------|--------|--------|------------------------|----------|-------|-------|------|----------|------|--------|--------|--------|------------|---------------------|---|---|---|---|--|
|               |            |             | Incremental No. | Area | Total |            |          |          | Inlet                 | Travel | Total |                    |                 |        |                    |                      |       |        | U/S    | D/S    | V1 (in)                | V2 (out) | V1/2G | V2/2G | Kj   | Kj/V1/2G | Hk   | R      | R      | R      |            |                     | R | R | R | R |  |
| 1             | 2          | 3           | 4               | 5    | 6     | 7          | 8        | 9        | 10                    | 11     | 12    | 13                 | 14              | 15     | 16                 | 17                   | 18    | 19     | 20     | 21     | 22                     | 23       | 24    | 25    | 26   | 27       | 28   | 29     | 30     | 31     | 32         | 33                  |   |   |   |   |  |
| <b>LINE A</b> |            |             |                 |      |       |            |          |          |                       |        |       |                    |                 |        |                    |                      |       |        |        |        |                        |          |       |       |      |          |      |        |        |        |            |                     |   |   |   |   |  |
| 11+49.43      | 6+11+56.29 | 33.14       | PR-4            | 3.14 | 0.14  | 0.77       | 0.11     | 0.11     | 10.0                  | 1.0    | 11.0  | 9.23               | 0.99            | 0.99   | 18                 | 1                    | 0.013 | 0.0001 | 633.44 | 633.43 | -                      | 0.96     | -     | 0.00  | 0.80 | 0.00     | 0.10 | 633.54 | 630.90 |        |            |                     |   |   |   |   |  |
| 11+16.29      | 10+21.64   | 54.65       | PR-1            | 0.33 | 0.47  | 0.83       | 0.27     | 0.38     | 11.0                  | 0.8    | 11.8  | 8.92               | 3.41            | 3.41   | 18                 | 1                    | 0.013 | 0.0011 | 623.33 | 623.23 | 0.96                   | 1.93     | 0.00  | 0.00  | 0.50 | 0.00     | 0.10 | 623.43 | 631.42 |        |            |                     |   |   |   |   |  |
| 10+21.64      | 10+00.00   | 21.64       | PR-1            | 0.11 | 0.58  | 0.83       | 0.09     | 0.47     | 11.8                  | 0.2    | 12.0  | 8.92               | 4.22            | 4.22   | 18                 | 1                    | 0.013 | 0.0016 | 623.13 | 623.10 | 1.93                   | 2.90     | 0.00  | 0.00  | 0.50 | 0.03     | 0.10 | 623.23 | 626.63 |        |            |                     |   |   |   |   |  |
|               |            |             |                 |      |       |            |          |          |                       |        |       |                    |                 |        |                    |                      |       |        |        |        |                        |          |       |       |      |          |      |        |        |        |            |                     |   |   |   |   |  |
| <b>LINE B</b> |            |             |                 |      |       |            |          |          |                       |        |       |                    |                 |        |                    |                      |       |        |        |        |                        |          |       |       |      |          |      |        |        |        |            |                     |   |   |   |   |  |
| 10+47.40      | 10+00      | 1047.40     | PR-2            | 0.13 | 0.13  | 0.81       | 0.11     | 0.11     | 10.0                  | 31.8   | 41.8  | 9.23               | 0.97            | 0.97   | 18                 | 1                    | 0.013 | 0.0061 | 626.91 | 626.83 | 0.00                   | 0.50     | 0.00  | 0.00  | 0.00 | 0.00     | 0.00 | 0.10   | 627.01 | 631.00 |            |                     |   |   |   |   |  |
|               |            |             |                 |      |       |            |          |          |                       |        |       |                    |                 |        |                    |                      |       |        |        |        |                        |          |       |       |      |          |      |        |        |        |            |                     |   |   |   |   |  |
| <b>LINE C</b> |            |             |                 |      |       |            |          |          |                       |        |       |                    |                 |        |                    |                      |       |        |        |        |                        |          |       |       |      |          |      |        |        |        |            |                     |   |   |   |   |  |
| 10+51.76      | 10+00.00   | 51.76       | PR-3            | 0.43 | 0.43  | 0.85       | 0.37     | 0.37     | 10.0                  | 0.4    | 10.4  | 9.23               | 3.41            | 3.41   | 18                 | 1                    | 0.013 | 0.0011 | 627.76 | 627.70 | 0.00                   | 1.93     | 0.00  | 0.00  | 0.00 | 0.00     | 0.10 | 627.85 | 630.75 |        |            |                     |   |   |   |   |  |
|               |            |             |                 |      |       |            |          |          |                       |        |       |                    |                 |        |                    |                      |       |        |        |        |                        |          |       |       |      |          |      |        |        |        |            |                     |   |   |   |   |  |

**BRAUM'S PIPE CALCS**

| Storm Drain Calculations |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
|--------------------------|---------|-------------|-----------------|------|-------|------------|----------|----------|-----------------------|--------|-------|--------------------|-----------------|----------------------------|----------------------------------|--------|--------------------|-------|--------|--------|--------|------------------------|----------|-------|-------|------|----------|------|--------|--------|----|------------|---------------------|---|---|---|--|
| From                     | To      | Pipe Length | Drainage Area   |      |       | Runoff "c" | Incr. cA | Total cA | Time of Concentration |        |       | 100-year Intensity | 100-year Runoff | Inlet Carryover (To Inlet) | Inlet Carryover "q" (From Inlet) | Q Pipe | Pipe Size Diameter | n     | Sf     | HGL    |        | Head Loss Calculations |          |       |       |      |          |      |        |        |    | Design HGL | T/C or Ground Elev. |   |   |   |  |
|                          |         |             | Incremental No. | Area | Total |            |          |          | Inlet                 | Travel | Total |                    |                 |                            |                                  |        |                    |       |        | U/S    | D/S    | V1 (in)                | V2 (out) | V1/2G | V2/2G | Kj   | Kj/V1/2G | Hk   | R      | R      | R  |            |                     | R | R | R |  |
| 1                        | 2       | 3           | 4               | 5    | 6     | 7          | 8        | 9        | 10                    | 11     | 12    | 13                 | 14              | 15                         | 16                               | 17     | 18                 | 19    | 20     | 21     | 22     | 23                     | 24       | 25    | 26    | 27   | 28       | 29   | 30     | 31     | 32 | 33         |                     |   |   |   |  |
| <b>LINE A</b>            |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
| 6+78.22                  | 6+93.50 | 154.72      | OS2             | 3.20 | 2.20  | 0.77       | 1.69     | 1.69     | 15.0                  | 0.4    | 15.4  | 7.90               | 13.39           | 0.00                       | 0.00                             | 13.39  | 18                 | 0.013 | 0.0162 | 638.01 | 635.01 | -                      | 7.57     | -     | 0.89  | 1.00 | 0.00     | 0.89 | 638.90 | 641.00 |    |            |                     |   |   |   |  |
| 6+93.50                  | 6+00.00 | 193.50      | A1-A3           | 1.10 | 3.30  | 0.77       | 0.65     | 2.54     | 15.4                  | 0.4    | 15.8  | 7.90               | 20.08           | 0.00                       | 0.00                             | 20.08  | 21                 | 0.013 | 0.0161 | 634.82 | 631.71 | 7.57                   | 8.35     | 0.89  | 1.08  | 1.00 | 0.89     | 0.19 | 635.01 | 646.60 |    |            |                     |   |   |   |  |
| 6+00.00                  | 3+40.00 | 160.00      | OS3             | 1.00 | 4.30  | 0.77       | 0.77     | 2.31     | 15.8                  | 0.3    | 16.1  | 7.90               | 26.16           | 0.00                       | 0.00                             | 26.16  | 24                 | 0.013 | 0.0134 | 631.61 | 629.61 | 8.35                   | 8.33     | 1.08  | 1.08  | 1.00 | 1.08     | 0.10 | 631.71 | 636.50 |    |            |                     |   |   |   |  |
| 3+40.00                  | 1+60.00 | 190.00      | OS4             | 1.50 | 5.90  | 0.77       | 1.23     | 4.54     | 16.1                  | 0.4    | 16.5  | 7.89               | 34.92           | 0.00                       | 0.00                             | 34.92  | 27                 | 0.013 | 0.0127 | 629.46 | 627.07 | 8.33                   | 8.78     | 1.08  | 1.20  | 1.00 | 1.08     | 0.12 | 629.81 | 634.00 |    |            |                     |   |   |   |  |
| 1+60.00                  | 1+50.00 | 10.00       | LINE B          | 4.30 | 10.20 | 0.77       | 3.31     | 7.85     | 16.5                  | 0.0    | 16.5  | 7.89               | 80.37           | 0.00                       | 0.00                             | 80.37  | 33                 | 0.013 | 0.0130 | 626.07 | 626.03 | 8.78                   | 10.16    | 1.20  | 1.60  | 1.00 | 1.20     | 0.41 | 627.07 | 629.70 |    |            |                     |   |   |   |  |
| 1+50.00                  | 0+00.00 | 150.00      | OS5             | 0.80 | 11.00 | 0.77       | 0.62     | 8.47     | 16.5                  | 0.2    | 16.7  | 7.89               | 85.11           | 0.00                       | 0.00                             | 85.11  | 33                 | 0.013 | 0.0152 | 626.27 | 624.00 | 10.16                  | 10.96    | 1.60  | 1.87  | 1.00 | 1.80     | 0.26 | 626.53 | 629.50 |    |            |                     |   |   |   |  |
| 0+00.00                  |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
| <b>LINE B</b>            |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
| 7+71.00                  | 6+43.00 | 128.00      | B1              | 0.50 | 0.50  | 0.80       | 0.40     | 0.40     | 10.0                  | 0.5    | 10.5  | 9.23               | 3.69            | 0.00                       | 0.00                             | 3.69   | 18                 | 0.013 | 0.0107 | 634.07 | 633.60 | -                      | 4.70     | -     | 0.34  | 1.00 | 0.00     | 0.34 | 635.32 | 638.45 |    |            |                     |   |   |   |  |
| 6+43.00                  | 5+15.00 | 128.00      | B2              | 0.50 | 1.00  | 0.80       | 0.40     | 0.80     | 10.5                  | 0.4    | 10.9  | 9.23               | 7.38            | 0.00                       | 0.00                             | 7.38   | 18                 | 0.013 | 0.0111 | 633.38 | 631.71 | 4.70                   | 6.91     | 0.34  | 0.96  | 1.00 | 0.34     | 0.22 | 633.60 | 636.45 |    |            |                     |   |   |   |  |
| 5+15.00                  | 4+30.00 | 85.00       | B3              | 0.50 | 1.50  | 0.80       | 0.40     | 1.20     | 10.9                  | 0.3    | 11.2  | 9.23               | 11.07           | 0.00                       | 0.00                             | 11.07  | 21                 | 0.013 | 0.0049 | 631.61 | 631.20 | 6.91                   | 4.60     | 0.96  | 0.33  | 1.00 | 0.96     | 0.10 | 631.71 | 633.95 |    |            |                     |   |   |   |  |
| 4+30.00                  | 2+55.00 | 175.00      | B4-B7           | 1.80 | 3.30  | 0.80       | 1.44     | 2.64     | 11.2                  | 0.5    | 11.7  | 8.92               | 23.55           | 0.00                       | 0.00                             | 23.55  | 27                 | 0.013 | 0.0056 | 630.86 | 629.97 | 4.60                   | 3.92     | 0.33  | 0.54  | 1.00 | 0.33     | 0.22 | 631.20 | 632.60 |    |            |                     |   |   |   |  |
| 2+55.00                  | 0+97.00 | 168.00      | B8              | PR-3 | 1.43  | 4.73       | 0.80     | 1.14     | 11.7                  | 0.2    | 12.0  | 8.92               | 33.76           | 0.00                       | 0.00                             | 33.76  | 27                 | 0.013 | 0.0119 | 629.29 | 627.40 | 3.92                   | 8.48     | 0.54  | 1.12  | 1.00 | 0.94     | 0.67 | 629.97 | 632.53 |    |            |                     |   |   |   |  |
| 0+97.00                  | 0+00.00 | 87.00       | PR-2            | 0.15 | 4.88  | 0.80       | 0.69     | 0.10     | 12.0                  | 0.2    | 12.2  | 8.94               | 33.99           | 0.00                       | 0.00                             | 33.99  | 27                 | 0.013 | 0.0118 | 627.30 | 626.27 | 8.48                   | 8.45     | 1.12  | 1.11  | 1.00 | 1.12     | 0.10 | 627.40 | 631.81 |    |            |                     |   |   |   |  |
| 0+00.00                  |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
| <b>LINE C</b>            |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
| 4+73.00                  | 2+55.00 | 218.00      | B5              | 0.40 | 0.40  | 0.80       | 0.32     | 0.32     | 10.0                  | 1.0    | 11.0  | 9.23               | 2.95            | 0.00                       | 0.00                             | 2.95   | 12                 | 0.013 | 0.0029 | 634.75 | 633.25 | -                      | 3.76     | -     | 0.22  | 1.00 | 0.00     | 0.22 | 634.97 | 637.60 |    |            |                     |   |   |   |  |
| 2+55.00                  | 1+20.00 | 135.00      | B6              | 0.50 | 0.80  | 0.80       | 0.40     | 0.72     | 11.0                  | 0.4    | 11.4  | 9.23               | 6.64            | 0.00                       | 0.00                             | 6.64   | 15                 | 0.013 | 0.0106 | 633.02 | 631.99 | 3.76                   | 5.41     | 0.22  | 0.46  | 1.00 | 0.22     | 0.24 | 633.25 | 633.95 |    |            |                     |   |   |   |  |
| 1+20.00                  | 0+00.00 | 120.00      | B7              | 0.40 | 1.30  | 0.80       | 0.32     | 1.04     | 11.4                  | 0.5    | 11.9  | 8.92               | 9.28            | 0.00                       | 0.00                             | 9.28   | 21                 | 0.013 | 0.0034 | 631.49 | 631.08 | 5.41                   | 3.86     | 0.46  | 0.23  | 1.00 | 0.46     | 0.10 | 631.99 | 631.90 |    |            |                     |   |   |   |  |
| 0+00.00                  |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |
| 0+00.00                  |         |             |                 |      |       |            |          |          |                       |        |       |                    |                 |                            |                                  |        |                    |       |        |        |        |                        |          |       |       |      |          |      |        |        |    |            |                     |   |   |   |  |

**OFFSITE PIPE CALCS**

NOTES REFER TO STORAGE USA FACILITY PLANS FOR EXISTING STORM SEWER DRAINAGE AREAS

**Kimley Horn**  
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 WILLOW PARK, TEXAS 75077  
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**BRAUM'S ICE CREAM & DAIRY**  
 BRAUM'S STORE MODEL (ML-B)  
 8421 FM 407  
 DOUBLE OAK, TX 75077

**BRAUM'S**  
 DATE ISSUED: 08/10/2021  
 ISSUE FOR PERMITS: 07/20/2021  
 REVISIONS: 07/26/2021  
 REVISIONS: 08/30/2021

DRAWN BY: BJA  
 CHECKED BY: BJA  
 JOB NO.: 041287120

**C-403**

F.M. 407  
(JUSTIN ROAD)  
VARIABLE WIDTH RIGHT-OF-WAY



| LEGEND |                       |
|--------|-----------------------|
|        | PROPERTY LINE         |
|        | EXISTING CONTOUR      |
|        | PROPOSED CONTOUR      |
|        | SILT FENCE            |
|        | CONSTRUCTION ENTRANCE |
|        | CONCRETE WASHOUT      |
|        | CURB INLET PROTECTION |
|        | AREA INLET PROTECTION |
|        | CHECK DAM             |

- NOTES**
- EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE ACTIVITIES ON THE PROJECT.
  - ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE TOWN OF DOUBLE OAK.
  - IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND/OR SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REVISOR TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED ON SITE.
  - IF OFF SITE BORROW OR EXISTING BITTES ARE USED IN CONJUNCTION WITH THIS PROJECT THE EROSION CONTROL PLAN SHALL BE REVISOR AND SHOWN ON THE EROSION CONTROL PLAN. OFF SITE BORROW AND EXISTING BITTES ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GRASS COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
  - INSPECTIONS SHALL BE MADE WEEKLY AND AFTER EACH STORM EVENT TO ENSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ON TO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. BLASTOFF FROM THE WASH-DOWN OPERATION SHALL BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. REWORKING OR CHANGING ON THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
  - CONTRACTOR SHALL HAVE A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF THE E.C.P. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. STORM WATER POLLUTION PREVENTION REQUIREMENTS.

**Kimley-Horn**  
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EROSION CONTROL  
DESIGN

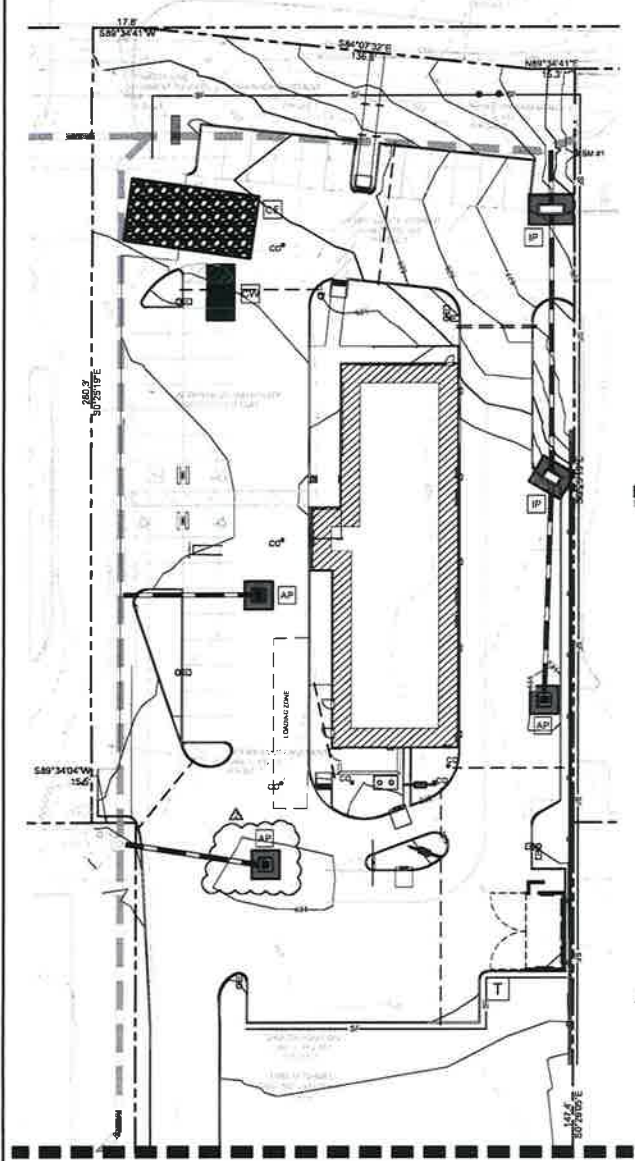
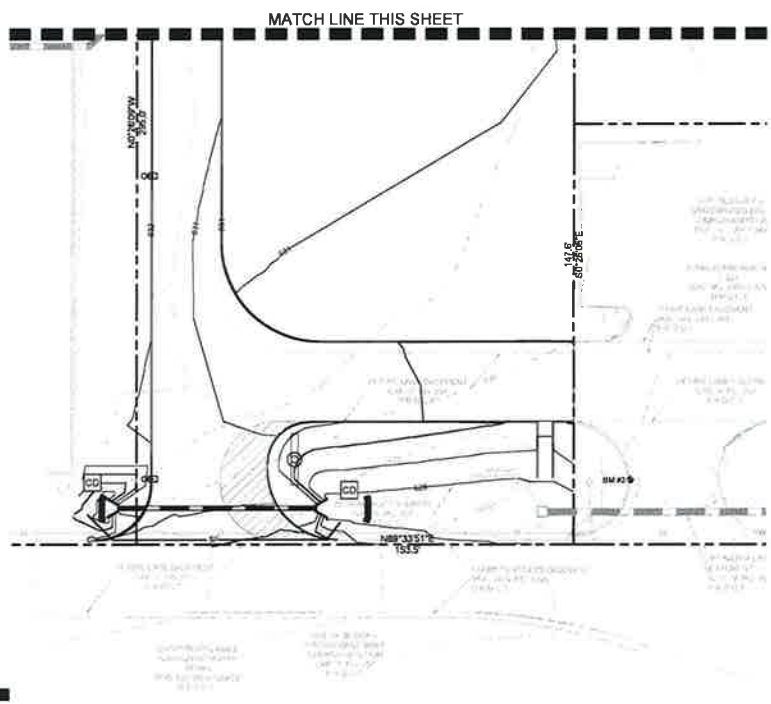


**BRAUM'S ICE CREAM & DAIRY**  
BRAUM'S STORE MODEL (M-L-B)  
8421 FM 407  
DOUBLE OAK, TX 75077

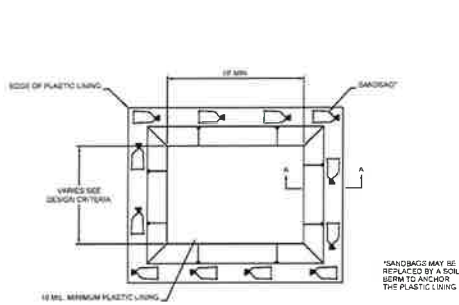


DATE ISSUED  
ISSUE FOR PERMIT:  
07/20/2021  
REVISIONS 07/26/2021  
REVISIONS 08/30/2021

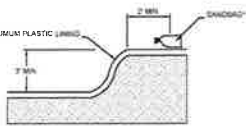
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DATE: 06/29/21  
**C-500**



DATE: 07/20/21  
DRAWN BY: SCB  
CHECKED BY: CTP  
DATE: 06/29/21  
PROJECT: BRAUM'S STORE MODEL (M-L-B)  
LOCATION: 8421 FM 407, DOUBLE OAK, TX 75077



CONCRETE WASHOUT PLAN VIEW



CONCRETE WASHOUT SECTION VIEW

**CONCRETE WASHOUT NOTES**

1. WASHOUT AREA MUST BE CLEARLY MARKED WITH SIGNAGE NOTING THE WASHOUT AREA
2. WASHOUT STRUCTURES SHALL BE CLEANED OUT WHEN THE STRUCTURE IS 75% FULL. TEMPORARY CONCRETE WASHOUT FACILITY SHOULD BE MAINTAINED TO PROVIDE ADEQUATE HOLDING CAPACITY

**CONCRETE WASHOUT DETAIL**

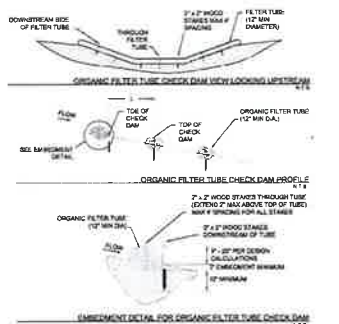
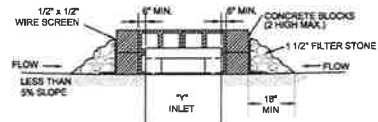
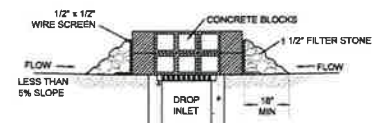


Figure 2-5 Schematics of Organic Filter Tube Check Dam

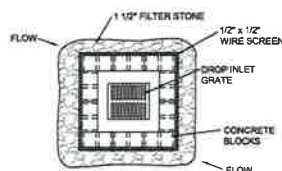
**CHECK DAM DETAIL**



BLOCK AND GRAVEL "Y" INLET PROTECTION CROSS SECTION  
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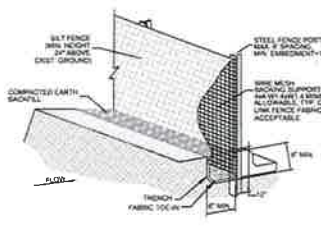


BLOCK AND GRAVEL DROP INLET PROTECTION CROSS SECTION  
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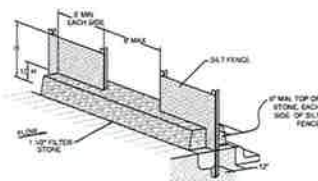


BLOCK AND GRAVEL AREA INLET PROTECTION PLAN VIEW  
N.T.S.

**INLET PROTECTION DETAIL**

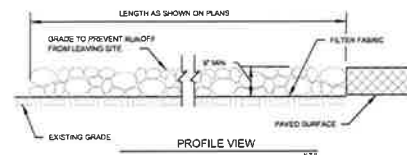


ISOMETRIC PLAN VIEW

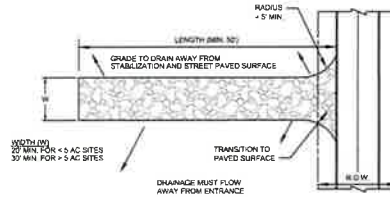


SILT FENCE OVERFLOW STRUCTURE

**SILT FENCE DETAIL**



PROFILE VIEW



PLAN VIEW

**CONSTRUCTION ENTRANCE DETAIL**

**Kimley»Horn**  
 CONSULTING ENGINEERS  
 1401 W. UNIVERSITY AVENUE, SUITE 100  
 FORT WORTH, TEXAS 76104  
 PHONE: 817-335-1000 FAX: 817-335-1001  
 WWW.KIMLEY-HORN.COM

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 ALL INFORMATION CONTAINED  
 HEREIN IS UNCLASSIFIED  
 DATE 07/01/2021 BY 60322 UCBAW/STP/STP

7/1/2021

**BRAUM'S ICE CREAM & DAIRY**  
 BRAUM'S STORE MODEL (AL-B)  
 8421 FM 407  
 DOUBLE OAK, TX 75077

**BRAUM'S**

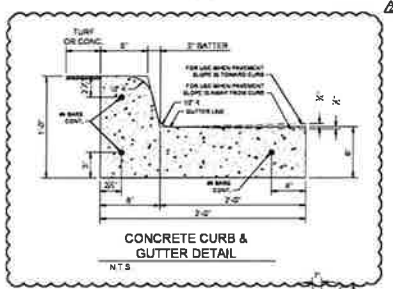
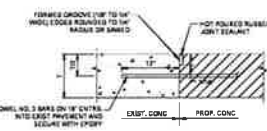
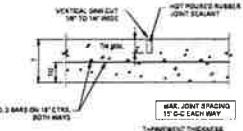
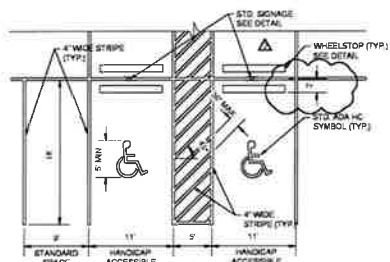
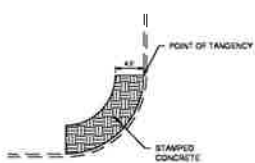
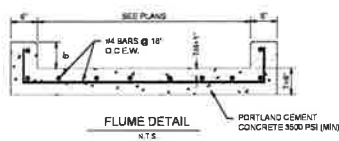
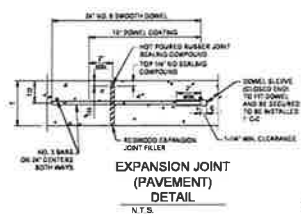
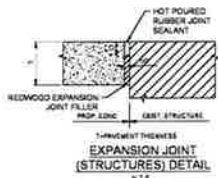
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 07/01/2021

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 JOB NO.: 081937120

C-501

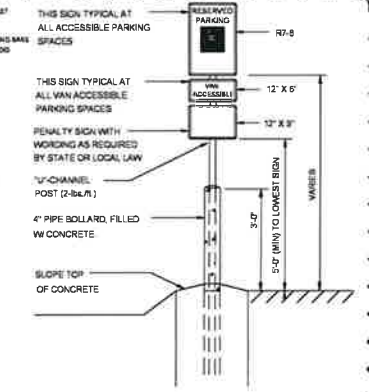
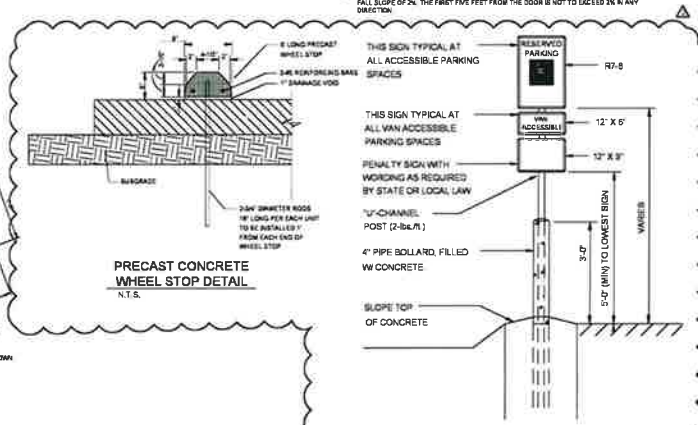
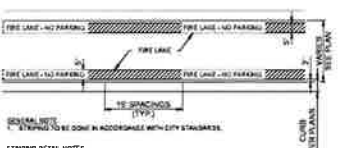
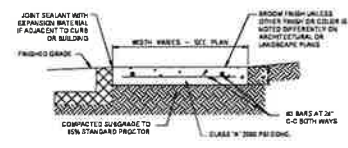


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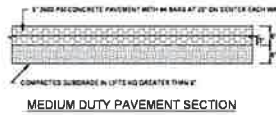
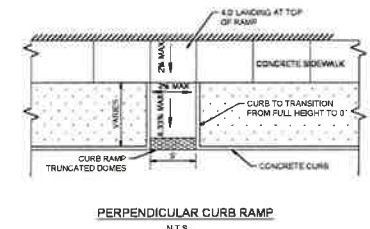


**NOTES:**  
1. CONTRACTOR TO COORDINATE WITH OWNER REGARDING STAMP PATTERN PRIOR TO INSTALLATION.  
2. CONTRACTOR TO COORDINATE WITH OWNER IF INTERNAL COLORED CONCRETE OR STAIN CONCRETE WILL BE USED FOR THESE AREAS. IF SO CONTRACTOR TO PROVIDE COLOR SAMPLE TO OWNER PRIOR TO INSTALLATION.

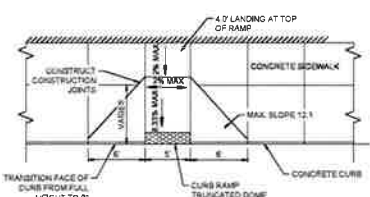
**NOTES:**  
1. DIMENSIONS MAY VARY REFER TO DIMENSIONAL CONTROL PLAN.  
2. EDGEWALL AND MARKINGS TO BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.  
3. MAXIMUM SLOPE FOR HANDICAPPED ACCESSIBLE PATHS ARE 1/4" WITH A MAXIMUM CROSS FALL SLOPE OF 2%. THE FIRST FIVE FEET FROM THE CURB IS NOT TO BE SLOPED IN ANY DIRECTION.



**NOTES:**  
- POST TUBE SHALL BE GALVANIZED AS PER ASTM A653 GRADE 80  
- HEAVY DUTY ANCHOR TUBE SHALL BE HOT DIP GALVANIZED MEET ASTM A500 GRADE B



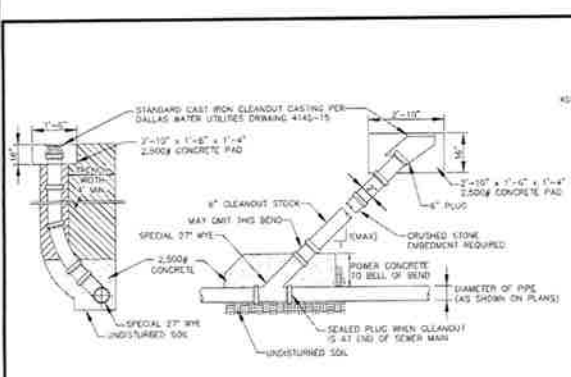
**PAVEMENT NOTES:**  
1. PAVEMENT SECTIONS SHALL BE BRAUM'S STANDARD PAVEMENT SECTION AS SHOWN. CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT BY EGS (PROJECT NO 83 1427) COMPLETED APRIL 20 2021 FOR SITE SPECIFIC EXCAVATION AND SUBGRADE PREPARATION REQUIREMENTS.  
2. PORTLAND CEMENT CONCRETE PAVEMENT MAY BE PLACED ON CEMENT STABILIZED SUBGRADE OR COMPACTED SOIL SUBGRADE.  
3. SUBGRADE ALL PANELS WITH A MAXIMUM 24" O.C.E.W. BARS SHALL BE PLACED AT A DEPTH OF 18" FROM THE TOP OF THE PAVEMENT.  
4. SAWCUT JOINTS IN CONCRETE PAVEMENT TO CREATE RECTANGULAR PANELS WHICH HAVE A 1.25 LENGTH TO WIDTH RATIO OR LESS THE MAXIMUM DIMENSION OF ANY PANEL SHALL BE 15 FEET.



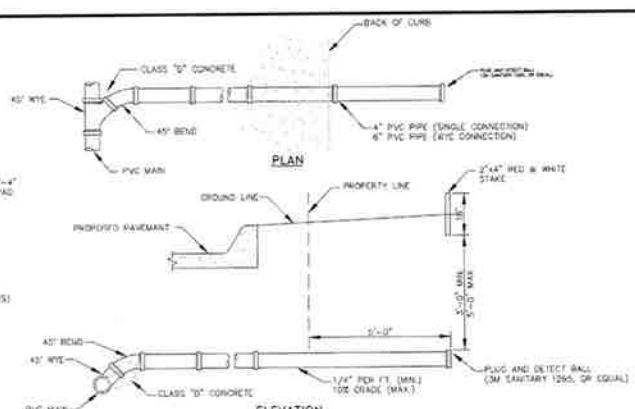
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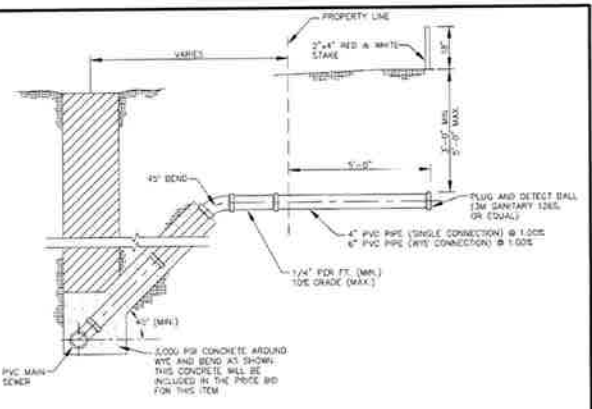




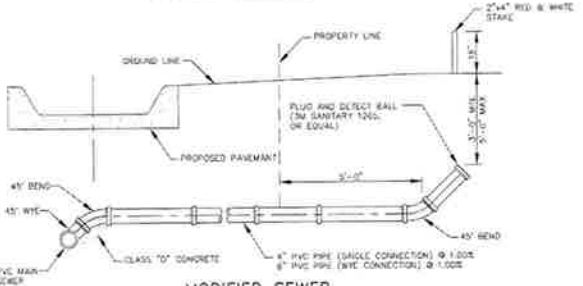
**CLEANOUT DETAIL**  
CONCRETE EMBEDMENT REQUIRED IN ROCK TRENCH ONLY



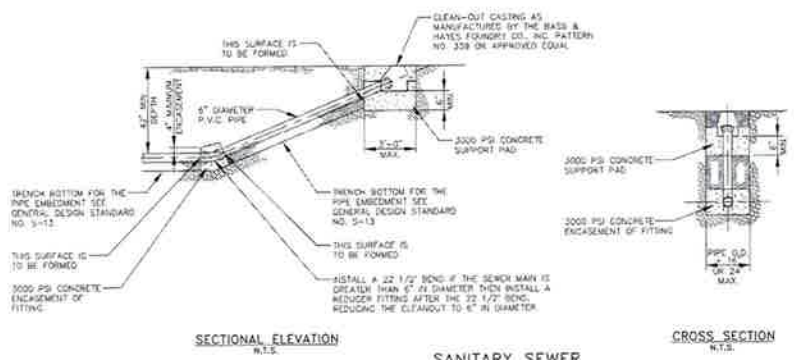
**ELEVATION STANDARD SEWER SERVICE CONNECTION**



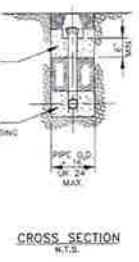
**ELEVATION DEEP SEWER SERVICE CONNECTION**



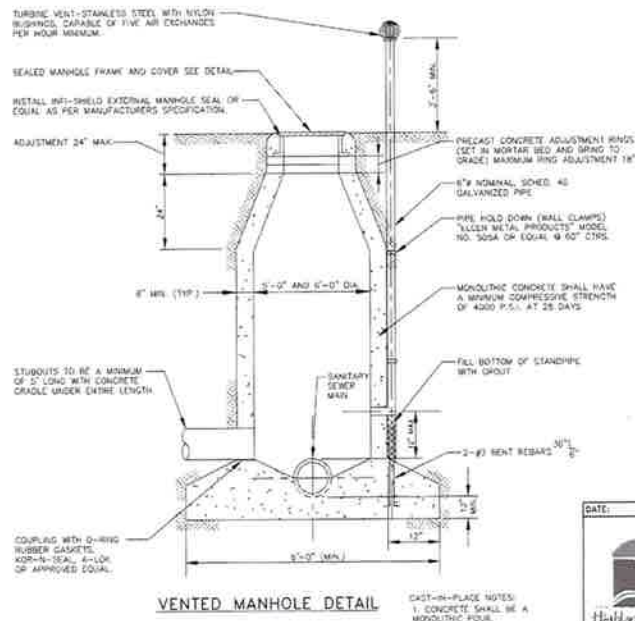
**ELEVATION MODIFIED SEWER SERVICE CONNECTION**



**SECTIONAL ELEVATION SANITARY SEWER CLEANOUT ASSEMBLY**



**CROSS SECTION**



**VENTED MANHOLE DETAIL**

DATE: AUGUST 2017 SCALE: NOT TO SCALE SHEET 7 OF 24

GENERAL STANDARD DETAILS  
SANITARY SEWER AND SERVICE CONNECTION DETAILS

**Kimley-Horn**  
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.  
1415 WHEELER AVENUE, SUITE 100, DALLAS, TEXAS 75240  
WWW.KIMLEY-HORN.COM

**reprise**  
ARCHITECTURE  
DESIGN



BRAUM'S ICE CREAM & DAIRY  
BRAUM'S STORE MODEL (XL-B)  
8621 FM 407  
DUBLIN, OK, TX 75077

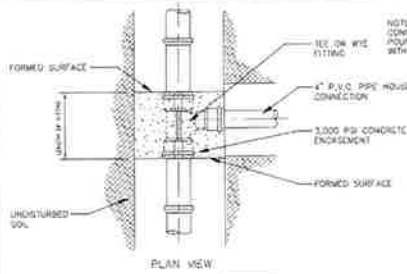


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07/21/2017

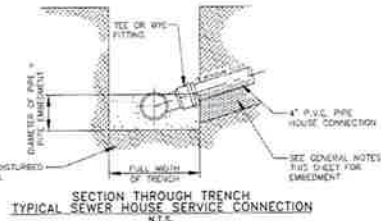
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CHECKED BY: CTP  
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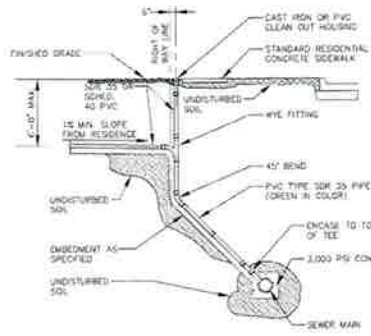


NOTE: CONCRETE ENCASMENT IS TO BE FORMED AGAINST UNDISTURBED SOIL WITH THE OPEN ENDS TO BE FORMED.

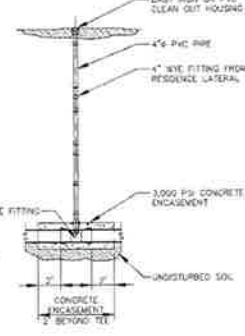


TYPICAL SEWER HOUSE CONNECTION  
N.T.S.

SANITARY SEWER SERVICE CONNECTION



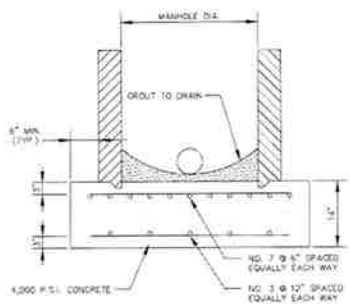
CLEANOUT RISER ELEVATION  
N.T.S.



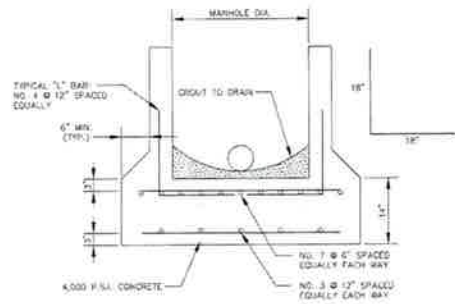
SECTIONAL ELEVATION  
N.T.S.

DEEP CUT SANITARY SEWER CONNECTION

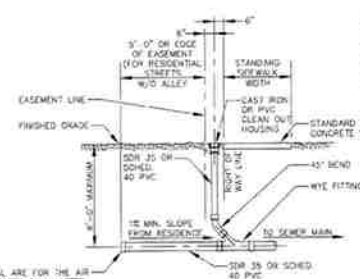
- GENERAL NOTES:
1. A RESIDENTIAL CLEANOUT IS REQUIRED AT THE PROPERTY LINE.
  2. SEWER SERVICE LATERAL IS TO BE POLY VINYL CHLORIDE (PVC) TYPE SDR 35 OR GREEN IN COLOR, 4" DIAMETER MINIMUM.
  3. EMBEDEDMENT OF LATERAL:
    - A. IF LATERAL TRENCH IS IN ROOF THE EMBEDEDMENT IS TO BE CLASS "C".
    - B. IF LATERAL IS IN EARTH AND 8"-0" OR LESS IN DEPTH THE EMBEDEDMENT WILL BE CLASS "B-1".
    - C. IF LATERAL IS IN EARTH AND OVER 8" OR IN DEPTH THE EMBEDEDMENT WILL BE CLASS "A".



FOR M.H. > 15' DEPTH  
SPECIAL PRECAST MANHOLE BASE SLAB DETAIL



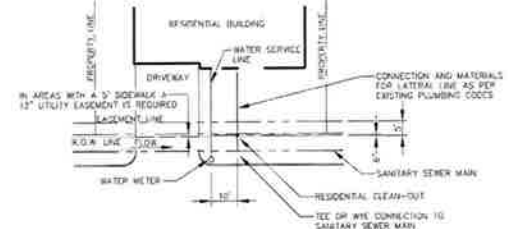
FOR M.H. > 15' DEPTH  
SPECIAL CAST IN PLACE MANHOLE BASE SLAB DETAIL



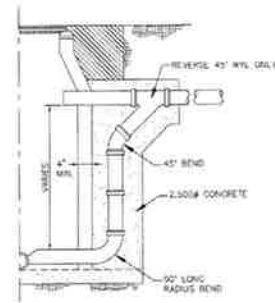
RESIDENTIAL CLEAN-OUT ELEVATION AND DETAIL  
N.T.S.

NOTE: FOR SUBSURFACE, THE UTILITY CONTRACTOR SHALL LEAVE THE 4" VERTICAL PIPE 3' ABOVE THE GRADING. THE RESIDENTIAL BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING THE RESIDENTIAL CLEAN-OUT HOUSING AT THE FINAL GRADE.

SEWER SERVICE LATERAL IS TO BE LOCATED 10' (10') FEET DOWNSTREAM OF THE WATER SERVICE WITH THE WATER SERVICE BEING LOCATED ON THE CENTERLINE OF THE LOT UNLESS APPROVED OTHERWISE BY THE ENGINEERING DEPARTMENT.



UTILITY LOCATION  
N.T.S.  
RESIDENTIAL CLEANOUT DETAILS



UNIL CONTRACTOR MAY SUBSTITUTE AN INTERNAL DROP CONNECTION. SUBSTITUTION MUST BE APPROVED BY THE CITY.

STANDARD DROP CONNECTION DETAIL

DATE: AUGUST 2017 SCALE: NOT TO SCALE SHEET 8 OF 24

GENERAL STANDARD DETAILS  
SANITARY SEWER AND SERVICE  
CONNECTION DETAILS

**Kimley** Horn  
8001 WALKER HORN AND ASSOCIATES INC.  
1410 WESTLAKESIDE DRIVE, SUITE 100  
DALLAS, TEXAS 75241-1421 TEL: 972.382.8388  
WWW.KIMLEY-HORN.COM

**reprise**  
ARCHITECTURAL & INTERIOR DESIGN  
1100 W. WOODWAY, SUITE 100  
DALLAS, TEXAS 75219  
TEL: 972.382.8388  
WWW.REPRISEDSIGN.COM



BRAUM'S ICE CREAM & DAIRY  
BRAUM'S STORE MODEL (XL-B)  
8421 FM 407  
DOUBLE OAK, TX 75077  
CONSTRUCTION DETAILS 5



DATE ISSUED  
ISSUE FOR PRINT:  
07/30/2017

DRAWN BY: GEM  
CHECKED BY: GIP  
JOB NO.: 081297120

C-604

DATE: 07/30/2017 10:41 AM  
DRAWN BY: GEM  
CHECKED BY: GIP  
JOB NO.: 081297120

**SIDE VIEW**

**PLAN VIEW**

**CATCH BASIN # 30**  
2'-6" x 2'-6"

**NOTES:**  
 1. SEE SPECIFICATIONS FOR MATERIALS.  
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
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| <b>FORTERRA</b> | PROJECT: NORTH TX |            |
|                 | DATE: 2018        | REV: 1.0.0 |

**END VIEW**

**SIDE VIEW**

**PLAN VIEW**

**HEADWALL**

**NOTES:**  
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| <b>FORTERRA</b> | PROJECT: NORTH TX |            |
|                 | DATE: 2018        | REV: 1.0.1 |

**SIDE VIEW**

**END VIEW**

**PLAN VIEW**

**TYPE "BB" INLET w/ FRAME AND GRATE**  
2'-6" x 6'-0"

**NOTES:**  
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| <b>FORTERRA</b> | PROJECT: HOUSTON TX |            |
|                 | DATE: 2018          | REV: 3.0.2 |

## **ARTICLE 3.1500 TREE PRESERVATION**

### **Sec. 3.1501 Purpose**

- (a) The purposes of this article are to establish rules and regulations governing the protection of trees and vegetation cover within the Town of Double Oak, to encourage the protection of healthy trees and vegetation, and to provide for replacement and replanting of trees that are necessarily removed during construction, development or redevelopment.
- (b) The provisions of this article allow trees located within necessary public rights-of-way and easements to be removed prior to issuance of a building permit. Trees within the buildable area of a property may also be removed. All other tree removal is subject to the permit requirements of Section 3.1505 hereof.
- (c) In compliance with the spirit and intent of this article, residential property owners are encouraged to assist in the identification and preservation of historic and specimen trees that may exist on their property. Advice in this regard may be obtained from the town secretary, building inspector and/or the planning and zoning commission.

### **Sec. 3.1502 Definitions**

The following definitions shall apply to this article.

Buildable Area. Means that portion of a lot or building site, exclusive of the required yard area, on which a structure or building improvements may be erected, and includes the primary and accessory buildings, driveway, parking lot, pool and other structures as shown on the site plan. The buildable area shall include sufficient adjacent area to allow the normal operation of construction equipment.

Drip Line. Means a vertical line run through the outermost portion of the crown of a tree and extending to the ground.

Historic Tree. Means a tree which has been found by the town to be of notable historic interest because of its age, type, size or historic association and which has been so designated as part of the official records of the town.

Person. Means any individual, corporation, partnership, association or other artificial entity, or any agent or employee of the foregoing.

Specimen Tree. Means a tree which has been determined by the town to be of high value because of its type, size or other professional criteria, and which has been so designated as part of the official records of the town.

Tree. Means any self-supporting woody perennial plant which has a trunk diameter of three inches or more when measured at a point of four and one-half feet above ground level and which normally attains an overall height of at least twenty feet at maturity, usually with one main stem or trunk and many branches. It may appear to have several stems or trunks as in several varieties of oak.

Yard Area. Means the front, side and rear yard areas as required under the comprehensive zoning ordinances and the zoning district requirements applicable thereto.

### **Sec. 3.1503 Applicability of Provisions**

- (a) The terms and provisions of this article shall apply to real property as follows:
- (1) all real property upon which any designated specimen or historic tree is located;
  - (2) all vacant and undeveloped property; and
  - (3) all property to be redeveloped, including additions and alterations.
- (b) This article shall not apply to trees located in the yard area of developed and owner occupied residential property, except historic or specimen trees as defined herein, and those parts of trees and branches which overhang and extend laterally into the space over public roadways as set forth in Section 3.1504, "Tree Trimming/Pruning-Public Roadways," of this article.

### **Sec. 3.1504 Tree Trimming/Pruning-Public Roadway**

- (a) All property owners of real property on which there are trees in the yard area with branches that extend into or over the space of any street, alley or public roadway shall periodically inspect such trees to determine the extent of overhang or lateral protrusion into or over such streets, alleys, or public roadways.
- (b) To prevent scratch damage to motor vehicles, improve driver visibility, and promote public safety, overhanging branches of trees shall not extend lower than 12 feet above the surface of any street, alley or public roadway. Tree branches below 12 feet that extend laterally toward the roadway are to be trimmed or pruned back to a distance of not less than 5 feet from the edge of the paved surface of the street, alley, or public roadway or flush with the trunk of the tree if the tree is closer than 5 feet to the edge of the paved portion of the street.
- (c) Property owners shall pay particular attention to those conditions where tree branches or foliage may restrict the view of motor vehicle drivers at public road junctions and intersections. Additionally, trees and tree branches that are dead, diseased or otherwise weakened, and extend out and over the public roadways and are above the 10-foot height space requirement, shall be considered to be hazardous trees in accordance with the terms of this article and shall be cut at the trunk or, where appropriate, pruned, and removed.

### **Sec. 3.1505 Permit Required**

No person shall, directly or indirectly, cause, suffer, permit or allow the cutting down, destruction, removal, or damaging, of any tree, specimen tree or historic tree situated on property described in this article without first obtaining a tree permit, unless the conditions of [Section 3.1511](#) hereof apply.

### **Sec. 3.1506 Permit Application**

- (a) Permits for removal or replacement of trees covered in this article shall be obtained by making application on a form prescribed by the town to the town's building inspector. The application shall be accompanied by a written document indicating the reasons for removal or replacement of trees, and two copies of a plat or plan identifying the location, size (trunk diameter and height) and common names of each tree to be removed. The foregoing plat or plan shall be in addition to, and not in lieu of, any other plans, plats, or drawings which may be required by other ordinances or regulations, and shall be drawn to the largest practicable scale indicating:
- (1) the location of all existing or proposed structures, improvements and site uses, property dimensions and references to property lines, setback and yard requirements and special relationships;
  - (2) the existing and proposed site elevations, grades and major contours;
  - (3) the location of existing or proposed utility easements; and
  - (4) the location of the trees on the site to be removed or replaced.
- (b) Tree information required above shall be summarized in legend form on the plan and shall include the reason for the proposed removal or replacement.
- (c) An application involving developed property may be based on drawings showing only that portion of the site directly involved, adjacent structures, and landscaping or natural growth incidental thereto.
- (d) Aerial photographs, at an appropriate scale, may be substituted at the discretion of the building inspector for a site plan if adequate site information is supplied on the aerial photographs.

### **Sec. 3.1507 Permit - Application Review**

Where an application is submitted in conjunction with development applications for new subdivisions, preliminary plans, and plat applications, the planning and zoning commission shall review the application as part of the plan or plat review process, subject to review and approval by the town council. **The building inspector shall review applications for previously approved or platted lots.** Such reviews may include a field inspection of the site and the

application may be referred to such departments as deemed appropriate for review and recommendations. If the application is made in conjunction with a site plan submitted for approval, the application will be considered as part of the site plan; and no permit shall be issued without site plan approval. Following review and inspection, the permit applications will be approved, disapproved or approved with conditions by the planning and zoning commission or building inspector, as appropriate, in accordance with the provisions of this article.

### **Sec. 3.1508 Tree Removal**

- (a) No tree or trees shall be removed prior to issuance of a building permit unless one of the following conditions exists:
- (1) the tree is located in a utility easement, public street, right-of-way, or drainage easement;
  - (2) the tree is not living, or so diseased or damaged as to be in danger of falling;
  - (3) the tree interferes with utility service or creates unsafe visibility clearance;
  - (4) the tree conflicts with other ordinances or regulations; or
  - (5) the trees are willows, mesquites or thorn trees.
- (b) In the event that a tree located outside of a utility easement, public street, right-of-way, or drainage easement is requested to be removed to allow the operation of equipment, the applicant shall submit a plat and site plan which indicates the exact operational area needed. The building inspector may approve selected removal under this condition.
- (c) Except for the above, under no circumstances shall clear-cutting of trees on any property prior to issuance of a building permit be allowed.
- (d) Upon issuance of a building or other permit authorizing commencement of construction, no person, including but not limited to builders or developers, shall be allowed to remove trees located on the property except within the buildable area of the property or as otherwise permitted herein. Trees located in required yard areas, buffers and open space areas shall not be removed unless expressly authorized under the terms and provisions of this article.

### **Sec. 3.1509 Tree Replacement**

- (a) In the event that an applicant seeks to remove a tree which is located outside the buildable area, as a condition to issuance of a tree removal permit, the building inspector may require replacement of the tree(s) with comparable trees somewhere within the site.
- (b) A sufficient number of trees shall be planted to equal in diameter the tree removed. Such replacement trees shall be a minimum of three inches in diameter and seven feet in height when planted, and shall be selected from the list of approved replacement trees maintained by the building inspector as approved by the planning and zoning commission from the recommendations of the County Extension Service, if any.
- (c) At the time of application review, the building inspector or the planning and zoning commission, where appropriate, shall determine the person responsible for replacement, the time of replacement, and the location of the replacement trees.

### **Sec. 3.1510 Tree Protection**

- (a) During any construction or land development, the property owner, builder or developer shall clearly mark all trees to be maintained and may be required to erect and maintain protective barriers around all such trees or group of trees. No person shall cause, suffer, permit or allow the storage or placement of equipment, materials, debris or fill to be placed within the drip line of any tree, nor shall any person cause, suffer, permit or allow the movement of equipment within the drip line unless such movement within the drip line is within the operational area of construction and is necessary to preserve the tree.
- (b) During any construction or development, no person, including but not limited to property owners,

builders and developers, shall cause, suffer, permit or allow the cleaning of equipment or material under the canopy or within the drip line of any tree or group of trees. No person shall cause, suffer, permit or allow the disposal of any debris, construction materials, paper, lumber, wood, brick, or other waste material such as, but not limited to, paint, oil, solvents, asphalt, concrete, mortar, etc., under the canopy or drip line of any tree or groups of trees.

(c) No attachment or wires of any kind, other than those of a protective nature, shall be attached to any tree.

### **Sec. 3.1511 Hazardous Trees**

(a) In the event that any tree shall be determined to be in a hazardous or dangerous condition so as to endanger the public health, welfare or safety, and which is required to be immediately removed without delay, authorization may be given by the building inspector and the tree may then be removed without obtaining a permit as herein required.

(b) During the period of an emergency such as a tornado, storm, flood or other act of God, the requirements of this article may be waived as may be deemed necessary or appropriate by resolution or ordinance of the town council.

(c) All licensed plant or tree nurseries shall be exempt from the requirements of this article only for those trees planted and growing on the premises of such licensee which are so planted and growing for the purposes of sale or intended sale in the ordinary course of the licensee's business.

(d) Utility companies franchised by the town may remove trees or parts thereof which endanger the public health, safety or welfare or which interfere with utility service. Where such trees are on owner-occupied properties developed for single-family use, disposal of such trees shall be at the option of the property owner.

### **Sec. 3.1512 Enforcement; Penalties**

(a) Any person, firm or corporation who violates any provision of this article, or who fails to comply therewith or with any of the requirements hereof, or who commences construction or development of any real property in violation of any plan submitted or approved under this article, or who fails to obtain a permit where required herein, or who erects, occupies or alters any structure or building, or commences to erect, occupy, or alter any structure or building in violation of any plan submitted or approved under this article, shall be deemed guilty of a misdemeanor and shall, upon conviction, be fined in accordance with the general penalty provision set forth in Section 1.109 of this code. Each and every day such violation exists or is permitted to exist shall constitute a separate offense. The owner of the building, structure, property or premises, or part thereof, where such violation exists, and any architect, builder, contractor or agent employed in connection therewith who may have assisted in the commission of any such violation shall each be deemed guilty of a separate offense and, upon conviction, shall be subject to the penalties herein provided. Upon conviction, the judge may order the defendant to replace the tree or trees with other trees equal to or greater in height, diameter and type of that which was unlawfully removed.

(b) In addition to the penalties hereinabove provided, the town may, at its option, pursue compliance with the terms and provisions of the article by injunctive relief in the appropriate courts of Denton County, Texas.

(Ordinance 40-A adopted 3/21/00)